

Local Development Plan R-Code Variations

1 SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

- 1.1 The provisions of the Shire of Serpentine Jarrahdale Town Planning Scheme No. 2 and State Planning Policy 7.3 Residential Design Codes Volume 1 (R-Codes) (as amended) are varied as detailed within this Local Development Plan (LDP).
- 1.2 All other requirements of the Town Planning Scheme No. 2 and R-Codes shall be satisfied in all other matters.
- 1.3 The erection or extension of a single house on a lot contained within this LDP, which satisfies the requirement of this LDP, is exempt from the requirement to obtain development approval.

2 STREETScape REQUIREMENTS

Setbacks	Lots Applicable	Minimum	Maximum	Averaging
Primary Street (Olsen Gardens)	Dwelling (all levels)	All lots	2.0m	N/A
Secondary Street (Woolandra Drive)	Dwelling (all levels)	Lot 145	1.0m	N/A
Laneway	Dwelling (all levels)	All lots	1.0m	N/A

Averaging

- Averaging is not permitted to minimum.
- A porch, balcony, verandah or the equivalent may project not more than 1.0m into the primary street setback area for 100% of the frontage at any level.
- Averaging is not permitted to minimum.
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3 BOUNDARY SETBACK REQUIREMENTS

Setbacks	Lots Applicable	Requirements
Buildings on boundary (other than Street boundaries)	All levels	All Lots

- Two side boundaries permitted.
- Maximum length determined by front (Primary Street) and rear setbacks.

4 OPEN SPACE REQUIREMENTS

Open Space Provision	Lots Applicable	Requirements
	All lots	

- An outdoor Living Area (OLA) with an area of 10% of the lot size or 25m², whichever is greater, directly accessible from a habitable room of the dwelling and located behind the street setback area.
- At least 70% of the OLA must be uncovered and includes areas under eaves which adjoin uncovered areas.
- The OLA has a minimum 3m length or width dimension.

5 LANDSCAPING REQUIREMENTS

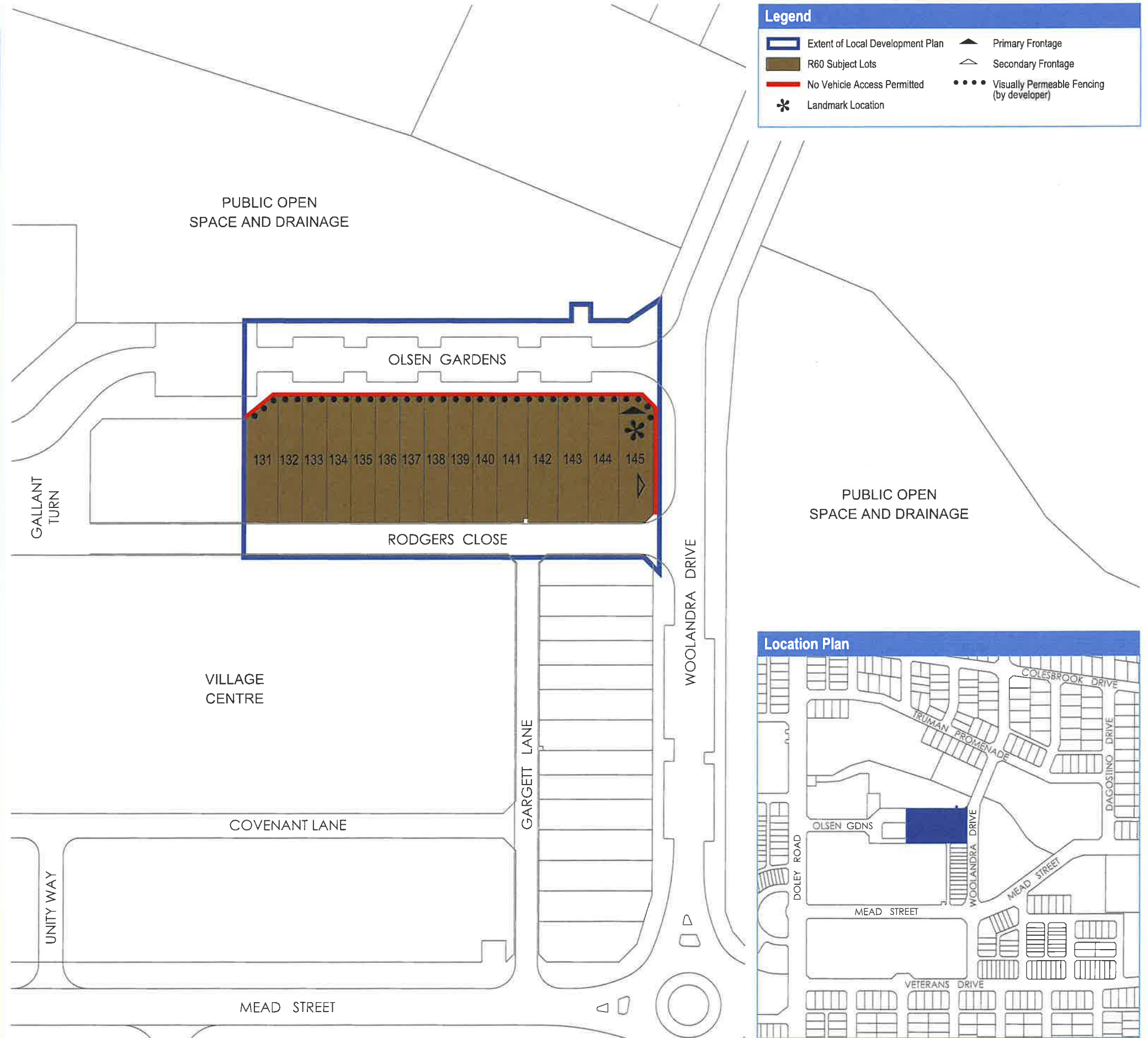
- 5.1 The front setback area, excluding the area of any verandah or porch, shall consist of soft landscaping in accordance with the following minimum requirements:

Soft Landscaping	Lots Applicable	Minimum
	All lots	60%

- 5.2 Rear open space shall consist of at least 1/3 soft landscaping.
- 5.3 The provision of street trees and front and verge landscaping shall be supplied by the Developer in accordance with a landscape plan prepared to the satisfaction of the Shire of Serpentine - Jarrahdale.

6 BUILT FORM REQUIREMENTS

- 6.1 Where single storey development is proposed, a minimum 30 course plate height is required for the front elevation.
- 6.2 Dwellings are required to suitably address all adjacent street frontages to maximise visual surveillance. All visible house elevations (from building line to erected fence) from the secondary street shall feature a suitable level of detail in a manner consistent with the primary street elevation.
- 6.3 For all lots, a verandah structure shall be provided to the primary street elevation.
- 6.4 For Lot 145, a landmark architectural response to a corner shall consist of a prominent feature that provides visual emphasis. Examples include: a raised or projecting building element such as a balcony/verandah structure, a significant roof element or changes in materiality.
- 6.5 Where fencing is provided by the Developer, no modifications are to be affected apart from maintenance and report in materials that are substantially identical with those used in the original construction and in accordance with the Developer's specific requirements.
- 6.6 Any fencing proposed to lot boundaries where not provided by the Developer shall be in accordance with the Developer's specific requirements as detailed in the applicable Estate Design Guidelines.
- 6.7 Lots on this LDP are exempt from R-Code provisions determining solar access and visual privacy.



Local Development Plan - Olsen Gardens

THE GLADES, BYFORD

An LWP Byford Syndicate Pty Ltd Project



ENDORSEMENT TABLE

Local Development Plan approved pursuant to Schedule 2, Part 6, cl. 52 of the Planning and Development (Local Planning Schemes) Regulations 2015

Authorised Officer

Date

12/8/22

scale: 1:1000@A3 | 1:500@A1

plan: 06/014/323D

date: 26/07/2022

0 10 20m

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