

Local Development Plan R-Code Variations

- 1 SCHEME AND PRESIDENTIAL DESIGN CODE VARIATIONS
 - 1.1 Local Planning Scheme No. 2 and the Residential Design Codes are varied as described in these notations.
 - 1.2 The requirements of Local Planning Scheme No. 2 and the Residential Design Codes shall be satisfied in all other matters.
 - 1.3 Planning approval is not required but a Building Permit is required for the construction of a dwelling on any lot within the area covered by the Local Development Plan except where variations to the provisions of the Local Development Plan are sought.
The erection or extension of a single house on a lot contained within this LDP, which satisfies the requirements of the Residential Design Codes and this LDP, is exempt from the requirement to obtain development approval.

2 R-CODNG

Lots Applicable	R-Code Density
971 - 976	R30






3 STREETScape REQUIREMENTS

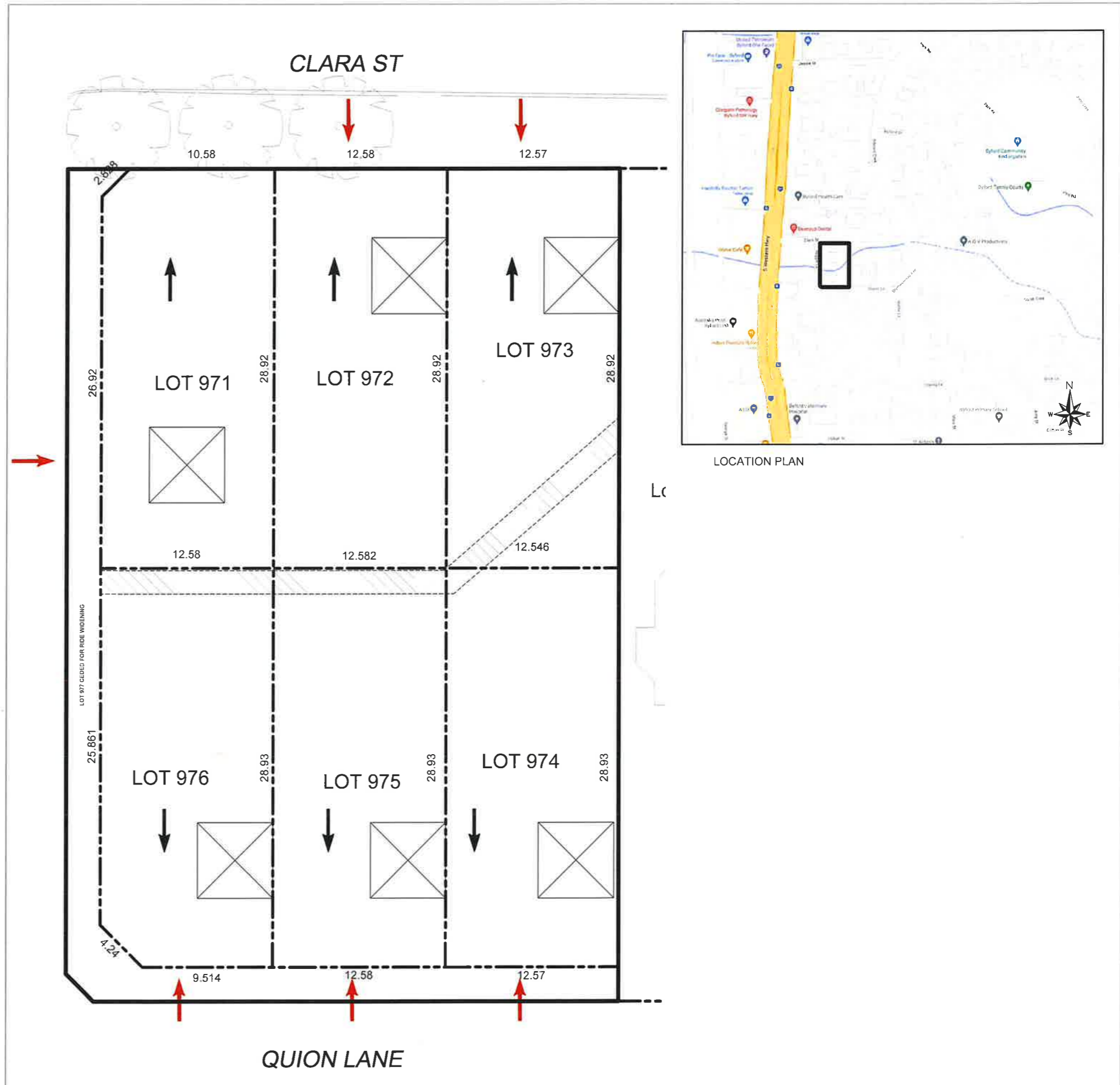
- 3.1 Dwellings are required to suitably address all adjacent street/laneway frontages as indicated to maximise visual surveillance.
- 3.2 For all lots, no adjoining consultation is required where garages are built to one side boundary.

4 DEVELOPMENT REQUIREMENTS

- 4.1 No buildings shall be constructed on the area designated as drainage easement

Legend

-  Extent of Local Development Plan
-  Primary Dwelling Orientation
-  Vehicle Access Point
-  Garage Locations
-  Drainage Easement



LOCATION PLAN

LOCAL DEVELOPMENT PLAN
Lot 97 CLARA ST, Byford

Endorsement Table
 Local Development Plan approved pursuant to Schedule 2, Part 6 Clause 52 of the Planning and Development (Local Planning Schemes) Regulations 2015
 Authorised Officer *[Signature]*
 Date 26/05/2022

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