

**Arnold Street - Stage 1 - Local Development Plan**  
**Application of the Local Development Plan**

This Local Development Plan applies to Lots 807 to 818 shown. The provisions of the Shire of Serpentine-Jarrahdale Town Planning Scheme No. 2 and Local Planning Policies are varied as detailed within this LDP.

All other requirements of the Town Planning Scheme and Local Planning Policies shall be satisfied in all other manners. Where development complies with the requirements of this LDP, the Local Planning Scheme and any applicable policy, a Development Application will not be required.

**Provisions**

- Development on any lot (including effluent disposal systems and disposal areas) shall be sited within the designated Building Envelopes. Unless otherwise depicted, the building envelope setbacks are as follows:
  - front setback of 12 metres;
  - rear and side setbacks of 6 metres.
- All dwellings are to be serviced by an onsite effluent disposal system based on a site and soil assessment conducted at the proposed disposal area of the lot in accordance with AS/NZS 1547:2012 *Onsite Domestic Wastewater Management* and as approved by the Shire and/or the WA Department of Health.
- Attached carports or garages shall not be constructed of materials other than materials used in the construction of the walls and roof of the primary dwelling.
- All outbuildings or other structures, including rain water tanks, sheds, carports, garages or ancillary accommodation, must not be situated forward of the main dwelling and should be screened with appropriate landscaping.
- Dwellings shall have pitched roof lines as defined in typical barns and shed structures, to further the rustic ambience and create functional loft spaces.
- Fences must be constructed in 'post and wire' at the front boundary of the lot and 'post and rail' or 'post and wire' or 'stake and wire' style for other boundaries, other than privacy fencing for the purposes of a courtyard or similar area attached to the main dwelling.
- All dwellings shall locate living areas along the northern side to achieve optimum solar efficiency, unless otherwise required by Provision 13 below.
- The use of materials should reflect the rural and historic nature of Serpentine, which is a former timber town in a rustic, coastal setting. The design of the primary dwelling on any lot is to incorporate at least 3 of the following elements:
  - metal that does not create specular glare,
  - timber,
  - natural stone,
  - rammed limestone/earth/clay or similar, and
  - brick or blockwork.
- External finishes to dwellings shall be subdued, earthy colours.
- Dwellings must incorporate the use of detention only soakwells or rainwater tanks rather than uncontrolled direct surface discharge. Disturbance to major existing flow paths will not be permitted.
- Land owners are responsible to implement the 'Lot Buyer Responsibilities' as stated in the approved Bushfire Management Plan.
- Lots 814 and 818 will not have legal access directly to the Rudall Street road reserve.
- Dwellings on Lots 808, 810, 814, 815 and 818 shall have a habitable room facing and allowing unobstructed views of the adjacent POS.

The Local Development Plan has been approved by the Shire of Serpentine-Jarrahdale under the Shire of Serpentine-Jarrahdale Town Planning Scheme No. 2 (part 6 deemed provisions)

Signature *Darren Blowes*

Date 8/2/2022

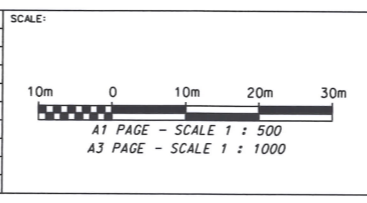
<b>DARREN BLOWES</b>			
LOT 97 & 98 ARNOLD ROAD, SERPENTINE LOCAL DEVELOPMENT PLAN SHIRE OF SERPENTINE-JARRAHDAL			
FILE NAME: 967-01-LDP.DGN	DATE: 25.01.2022	DRAWING No.:	AMDT No.:
		967-01-LDP	



**LEGEND**

- APPLICATION AREA
- PROPOSED LOT BOUNDARY
- PROPOSED LOT NUMBER
- PROPOSED LOT AREA
- PROPOSED LOT DIMENSION
- EXISTING STRUCTURE
- PROPOSED BUILDING ENVELOPE
- POTENTIAL EFFLUENT DISPOSAL AREA (260M2)
- TREE TO BE REMOVED
- LOCAL ROAD
- DRAINAGE RESERVE
- RESIDENTIAL R5
- RESERVE FOR RECREATION

No.	DATE	BY	DESCRIPTION



DRAWN: <b>B. FOSBERY</b>	DESIGNED BY: <b>CIVIL TECHNOLOGY</b> CONSULTING CIVIL AND STRUCTURAL ENGINEERS
CHECKED:	15 CHARLES STREET SOUTH PERTH, W.A. 6151 PH: (08) 9367 2533 FAX: (08) 9367 8046
APPROVED:	W.A.P.C. No.:
	158898