

Local Development Design Elements:

The following matters apply, where required, in the design and construction of residence or outbuildings on lots identified within the boundary of this LDP.

- Dwelling design must minimise east/west facing windows or provide adequate summer shading with awnings, eaves, pergolas or use of energy efficient glazing (i.e. solar performance film, tinting or toned).
- Dwellings are required to suitably address all street frontages to maximise visual surveillance. A secondary street frontage on a corner lot shall feature a suitable level of detail in a manner consistent with the primary street frontage for the first 4.5m of the return (taken from the established building line) to the secondary street.
- Dwellings should be designed to have well articulated building facades, through architectural features such as verandahs, porticos as well as the use of awnings, plinths and other such elements.
- Front building facades for all dwellings are to contain a minimum of two (2) different finished materials (such as face brick, painted render, painted weatherboard or similar).
- Building facades for all dwellings are encouraged to incorporate the following architectural features:
 - Wall features (such as decorative treatment to parapet walls) and feature walls (such as rendered foam and cladding, treated plinths, exposed brickwork or similar).
 - Window features (such as window awnings or window lintels, decorative treatment to lintels or window sills, protruding feature elements around major openings or similar)
- Any sheds or outbuildings not integrated into the dwelling shall not be permitted to be visible from any street.
- No solid dividing fencing shall be permitted forward of the building line.
- Where variations are sought, the proponent must provide adequate information for the Shire of Serpentine-Jarrahdale to assess the appropriateness of the variation/s having regard for the improved streetscape outcomes, improved sustainability outcomes and pedestrian/traffic safety matters.

Application of the Residential Design Codes (R-Codes):

All lots illustrated in this LDP are coded R30.

The Shire of Serpentine-Jarrahdale Town Planning Scheme No. 2 (TPS 2) and the Residential Design Codes for the Marri Park Private Estate precinct are varied as illustrated in this Local Development Plan.

The requirements of TPS 2 and the R-Codes shall be satisfied in all other matters.

Setbacks

Primary Street: 3.0m minimum, no average dwelling setback

Rear: 1.0m minimum dwelling setback

Secondary Street: 1.0m minimum

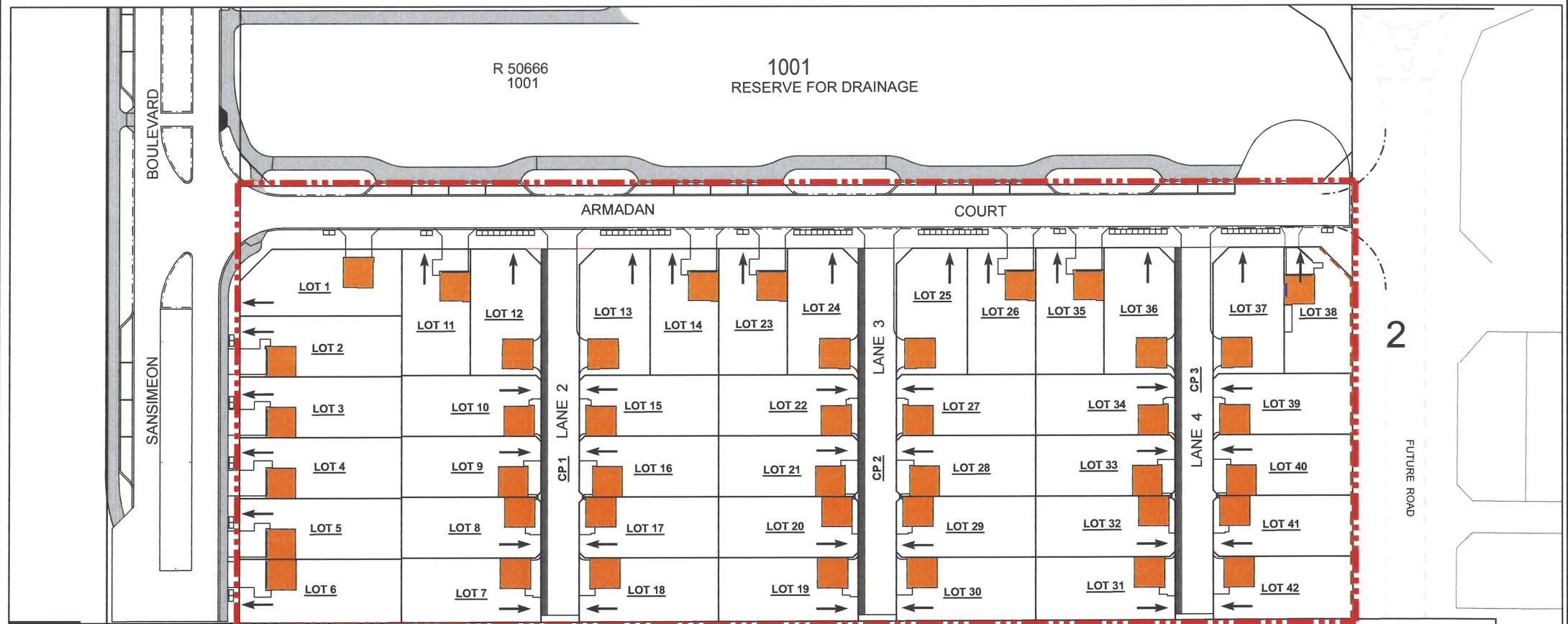
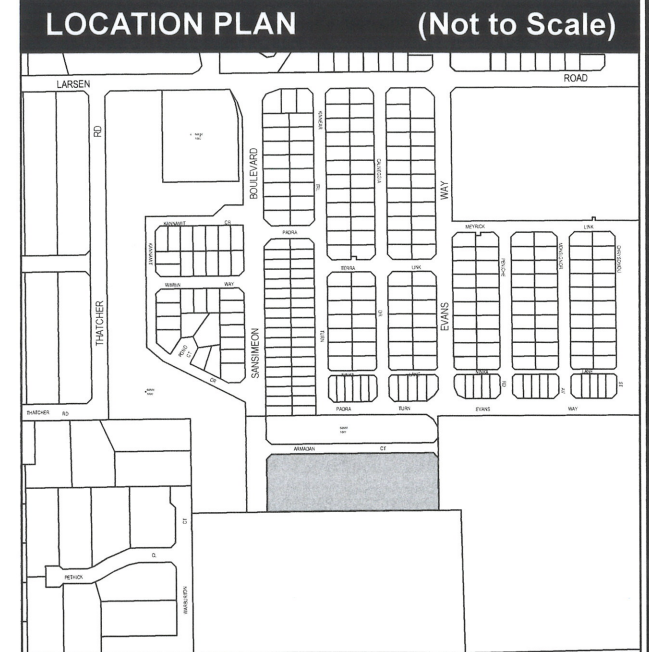
Any zero lot boundary must comply with the Shire's Local planning Policy 2.2 Residential Development Standards (R25-R60)

Vehicle Access

Vehicle crossovers being located within the identified locations, with a maximum width of 3.0m at the boundary applicable to Lot 38.

This Local Development Plan has been approved by an authorised officer.

[Signature]
 Signature
 Coordinator Strategic Planning 29/09/2021
 Title Date

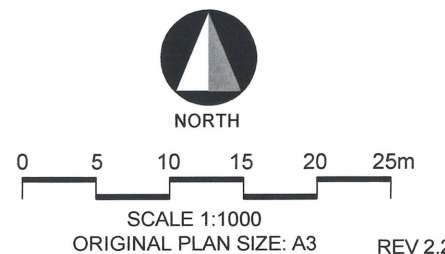


Bushfire Management:

The lots identified on this LDP are subject to a Bushfire Management Plan and require a Bushfire Attack Level Assessment and certification prior to construction, in accordance with Australian Standard 3959. This LDP shall be read in conjunction with the approved Bushfire Management Plan.

LEGEND:

- LDP Boundary
- Building Orientation
- Designated Garage Location / Carport / Parking Space
- Bin Pads
- Uniform Fencing



"Marri Park Private Estate"
 LOCAL DEVELOPMENT PLAN STAGE 5
 Lot 250 San Simeon Boulevard, Byford