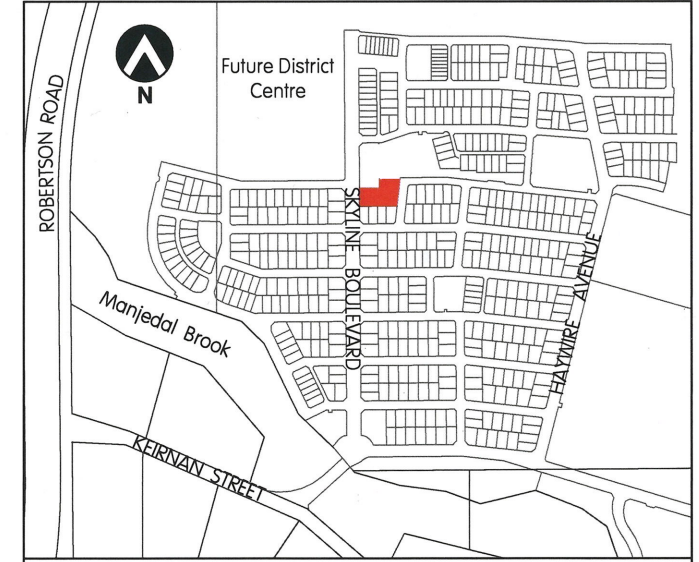


- LEGEND**
- SUBJECT PROPERTY BOUNDARIES
  - - - SETBACK (MINIMUM AS ANNOTATED)
  - ← BUILDING ORIENTATION
  - (R30) DENSITY CODE
  - UNIFORM FENCING
  - - - - - PREFERRED DRIVEWAY CROSSOVER LOCATION (4m WIDE)
  - 201 PROPOSED LOT NUMBERS
  - NIL BOUNDARY WALL SETBACK PERMITTED
  - RETAINING WALLS
  - REQUIRED GARAGE LOCATION
  - \* BAL ASSESSMENT IS REQUIRED TO DETERMINE THE APPROPRIATE BAL RATING



**LOCAL DEVELOPMENT PLAN PROVISIONS**

1. The Residential Density Code for each lot is as per the Residential Density Code Plan.

**SCHEME & RESIDENTIAL DESIGN CODE VARIATIONS**

2. The requirements of the Residential Design Codes are varied as follows.
3. All other requirements of the Residential Design Codes shall be complied with.

**VISUAL AMENITY AND STREETScape REQUIREMENTS**

4. Averaging of setbacks is not permitted.
5. At least one habitable room must be located to provide overlooking and surveillance in accordance with building orientation.

6. Where building orientation is specified, fences shall be visually permeable above 1.2m in height
7. A verandah or portico (subject to the Building Code of Australia) may not project more than 1.5m into the street setback area.
8. Frontage to Public Open Space must include a 4.5m return matching the primary street elevation (i.e. colours, materials and eaves) where a boundary setback exists. Where a nil boundary setback wall exists, it must be fully rendered or otherwise detailed consistent with the primary street elevation.
9. At least one major opening from a habitable room shall be provided to Public Open Space.
10. Fencing fronting Public Open Space shall be visually permeable above 1.2m.

11. For lots with a frontage of 10.5m or less, a double garage is permitted to a maximum width of 6.0m subject to:
  - a) Minimum primary setback of 6m for lots fronting Skyline Boulevard (205-207).
  - b) Garage setback a minimum of 0.5m behind the building alignment.
  - c) Provision of an entry feature such as a porch or veranda up to 1.5m deep.
  - d) Vehicular crossovers being located within the identified Designated Driveway Crossover locations with a maximum width of 4.0m at the property boundary.

12. A nil boundary wall setback is permitted to both side boundaries subject to the following:
  - a) maximum 2/3 length to one side boundary and
  - b) 1/3 maximum length to second side boundary for wall height 3.5m or less.
13. Street trees are proposed on all streets 12.0m or wider. Refer to landscape plans for details of planned street trees to avoid conflict with vehicular crossovers.
14. Minimum 50% of the primary street setback is to be soft landscaping.

**LOCATION AREA** ■ **SUBJECT LOTS**

**Endorsement Table**  
 Local Development Plan approved pursuant to Schedule 2, Part 6 Clause 52 of the Planning and Development (Local Planning Schemes) Regulations 2015.

*[Signature]*  
 Authorised Officer

13/04/2021  
 Date

**CADASTRAL INFORMATION**  
 SOURCE: MNG  
 YYMMDD: 190409  
 DWG REF: 94009lots-9999an  
 PROJECTION: PCG94

**AERIAL PHOTOGRAPHY**  
 SOURCE:  
 YYMMDD:

**HATCH | RobertsDay**



F	REMOVE PROVISION 15	210413	SB	Rdu
E	ADD RETAINING WALLS	201218	SB	KV/Rdu
D	LOT 207 GARAGE MOD	201104	SB	Rdu
C	TEXT CHANGES	201102	SB	Rdu
B	TEXT CHANGES	200907	II	KV
A	BASE GOGWHI RD1 416C	200902	II	KV
REV	DESCRIPTION	YYMMDD	DRAWN	APPR'D

**LOCAL DEVELOPMENT PLAN**  
**Lots 201 - 207, Whitby**  
 Shire of Serpentine-Jarrahdale

REF NO. **GOG WHI** DRAW NO. **RD1 421** REV. **F**