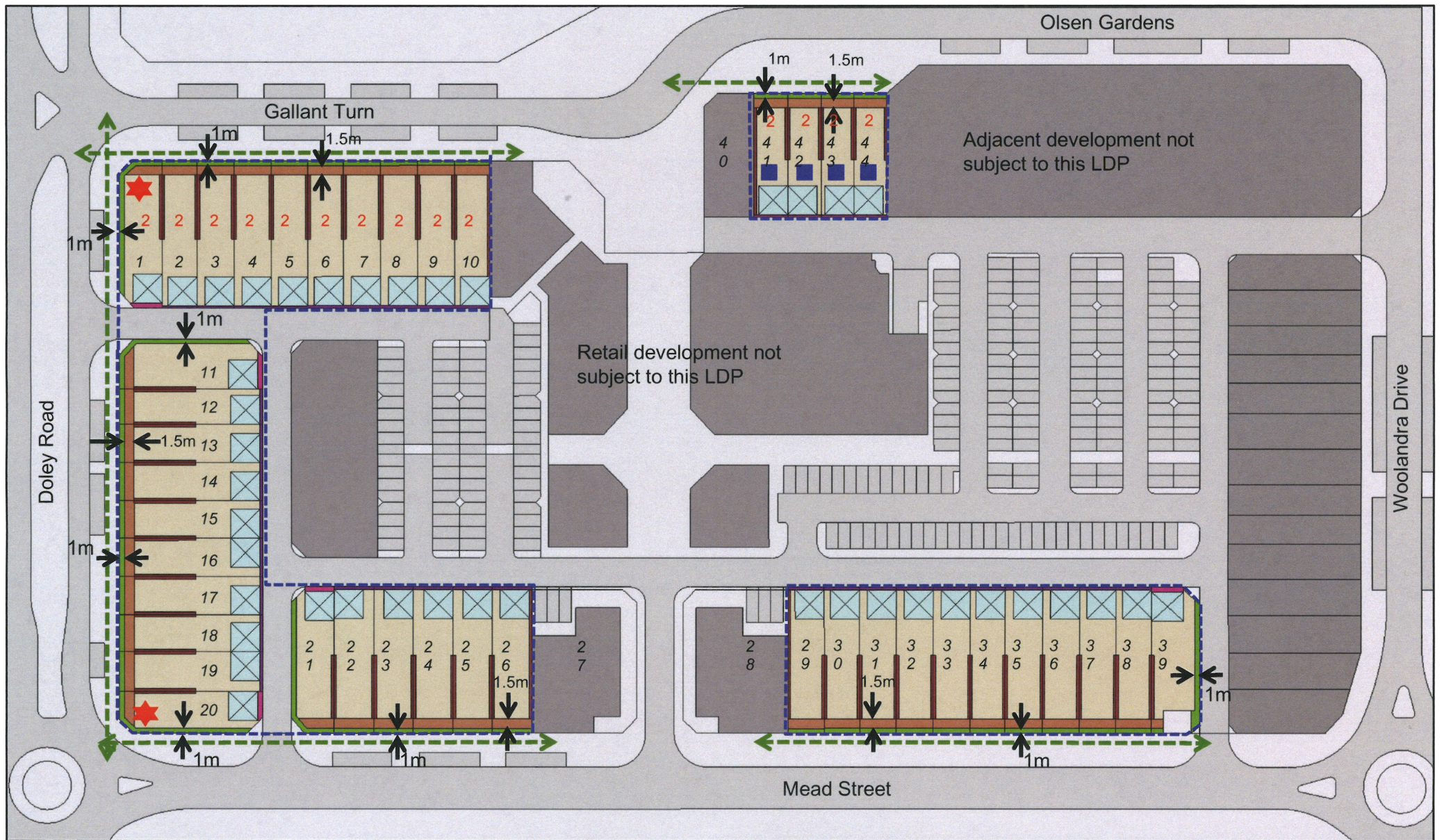
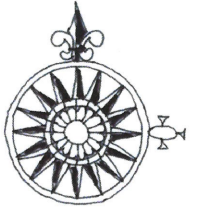


# Lots 876, 878 Doley Road and Olsen Gardens, Byford Local Development Plan



## Legend

- LDP boundary
- Indicative maximum building envelope
- Veranda/balcony zone (1.5m minimum)
- Minimum landscaped setback (1m minimum)
- Permitted two-storey construction to boundary (refer to clause 2. b. ii)
- ★ Architectural response to corner required
- 2 Mandatory 2-storey building to the primary street frontage
- Mandatory garage locations
- 0.5m setback from laneway boundary
- 1m setback from laneway boundary
- > Pedestrian path connection
- 10mm glass, double glazing or other noise reducing treatment required to south facing-glazing)

## DISCLAIMER

Information shown herein is generated from data obtained from various sources. The Shire of Serpentine Jarrahdale cannot guarantee the currency, accuracy or completeness of any data and will not accept any responsibility for any errors or losses incurred as result of the use of this information.

Users are advised to verify the currency, accuracy and completeness of the data with the source organisation or the relevant data custodian before making any decision.

## PROVISIONS

The R-Code for the LDP area is as per the Shire of Serpentine Jarrahdale Town Planning Scheme TPS No. 2 (TPS2). The provisions of the Shire of Serpentine Jarrahdale Town Planning Scheme TPS2, the Residential Codes of Western Australia (R-Codes) for R80 development, and the Glades Local Structure Plan (LSP) are varied as detailed in this Local Development Plan (LDP). All other requirements of TPS2, the R-Codes and the Glades LSP, shall be satisfied in all other matters.

### 1. OBJECTIVES

The objectives of this LDP are to:

- 1.1 Provide a residential frame to the adjacent local centre.
- 1.2 Provide a context for higher-density residential development that capitalises on proximity to a local centre, and which provides an alternative housing type to the predominating single dwellings in the locality.
- 1.3 Provide a built-form 'sleeve' to the car-parking areas associated with the adjacent local centre.

This LDP has been approved under delegated authority by the Shire of Serpentine Jarrahdale pursuant to Schedule 2, Part 6 Clause 52 of the *Planning and Development (Local Planning Schemes) Regulations 2015*. 24 October 2016

Approved - Ordinary Council Meeting - OCM187/10/16  
Approved - Statutory Planning Committee - 6 August 2019

Date:

Authorised Officer  
Shire of Serpentine Jarrahdale

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## 2. STANDARDS

All development in the LDP area must be consistent with the LDP overleaf and the following standards:

### DESIGN ELEMENTS

#### a) Setbacks

- i. All building setbacks must not be less than indicated on the LDP.
- ii. No building element shall encroach into the landscape setback areas indicated in the LDP.
- iii. All major building elements must be further located behind a 1.5m deep veranda/balcony area as indicated on the LDP, other than verandas, balconies, porches and minor building elements such as sun-shading devices, roof eaves and projecting wall features.
- iv. No 'averaging' of setbacks will be permitted.
- v. All buildings must be set back by at the rear by a minimum of 0.5m from the laneway carriageway.

#### b) Lot boundary setbacks/building heights

- i. Buildings may be constructed with a nil setback for a single level, including associated roof structures, along the full length of any common boundaries behind the required street and laneway setbacks.
- ii. Upper floor levels, including associated roof structures, may be constructed on any common boundaries for the front 50% of the remainder of the lot behind the landscape and veranda setback line, and above any garage structure to provide for an ancillary dwelling. Where a dwelling abuts a non-residential lot, the the upper floor levels may extend the full length of the common boundary behind the front and rear setbacks.

#### c) Streetscape

- i. All buildings must provide passive surveillance of adjacent street reserves and pedestrian paths through the development by means of residential frontage with major openings to habitable rooms.
- ii. Street elevations must be designed to create visual interest through building form, articulation of walls and openings, architectural features, texture and colour, with particular emphasis given to the ground floor level.
- iii. Any non-active portions of walls must be articulated by means of form, colour and texture to provide visual interest, or screened with vegetation.
- iv. No garage or parking access is permitted from the adjacent street reserves – all garaging and parking access must be from the adjacent rear lanes.
- v. Corner buildings, as designated on the LDP, must be at least two-storeys in height and provide an architectural response to the corner.

#### d) Fencing

- i. Where street frontage fencing is employed, it must be no more than 1.8m high and must be at least 50% visually permeable from 0.9m above the ground level of the adjacent street with solid portions of fencing consisting of limestone, a rendered masonry or panel construction, or other similar durable material.
- ii. Colorbond fencing is not permitted within any street setback area.

#### g) Open space/site coverage

- i. Single dwellings must have a minimum open space requirement of 25% of the lot which can be located on any level of the building on the lot and may include balconies and verandas. (Note: a minor reduction from 30% in the R-Codes).
- ii. Single and grouped dwellings must have at least 16sqm minimum of useable outdoor living area (as per R-Codes) with a minimum dimension of 4m which can be located on any level of the building on the lot and remain uncovered for at least 50% of the area.
- iii. All residential lots must have a minimum of 50% of the uncovered open space (that is, excluding verandas and other permanent shade structures) planted with in-ground vegetation.

#### h) Solar access on adjoining sites

- i. There is no limit to the percentage of an adjoining lot within the LDP area that may be overshadowed where the lots have a shared side boundary.

## 3. DEFINITIONS

For the purpose of this LDP, the following definitions shall apply:

**Architectural response to a corner:** An architectural response to a corner consists of a prominent feature that provides visual emphasis. Examples include: a raised or projecting building element, a significant roof element, a differentiation of materials, a significant opening(s) or a balcony/veranda structure.

Amendment No.	Summary of Amendment	Date endorsed by Local Government