

DETAILED AREA PLAN R-CODE VARIATIONS

R-CODING

1. The R10 and R30 Residential Density Codes apply as identified on the plan.

TOWN PLANNING SCHEME NO.2 AND RESIDENTIAL DESIGN CODE VARIATIONS

2. Town Planning Scheme No.2 and Residential Design Codes are varied as described in these notations.
 3. The requirements of Town Planning Scheme No.2 and Residential Design Codes shall be satisfied in all other matters.

DESIGN ELEMENTS

4. The following matters apply to the development of lots affected by the Detailed Area Plan:
 a) All houses and garages (including patios and gazebos) must be constructed within the nominated building envelope.
 b) Houses are required to suitably address all adjacent street frontages as indicated to maximise visual surveillance. A secondary street elevation shall feature a suitable level of detail in a manner consistent with the primary street elevation.
 c) No solid fencing shall be permitted forward of the established building line.
 d) All dwellings shall be suitably designed and orientated to address the Bush Forever reserve to maximise passive surveillance.
 e) Clothes lines and rubbish bin storage must be screened from view from the public view.
 f) For the R30 lot (Lot 280), the minimum open space requirement is 35%.

SETBACKS

5. Setbacks for development shall be in accordance with the following (except where noted, all other setbacks shall be in accordance with the R-Codes):
 a) R10
 Primary Street setback: As per R-Codes
 Rear setback: As per R-Codes
 b) R30
 Primary Street setback: Minimum 2.5m setback to dwelling
 Rear setback: Minimum 5.0m setback to dwelling

GARAGES AND ACCESS

6. e) Each single lot shall have a driveway and crossover completed prior to occupation of the house.
 b) Multiple driveways and crossovers are permissible for Lot 280 and these are to be completed prior to occupation of the dwellings.
 c) Maximum width of crossover shall be 6.0m;
 d) All driveways and crossovers shall be brick paved or other suitable material (but not asphalt) to the satisfaction of the State and Developer.

FENCING

7. a) All fencing within the estate will be provided and installed by the Developer. No additional fencing (other than side return panels) shall be erected without consultation and approval of the Developer. In the exceptional circumstance that front fencing is permitted, it shall be erected in accordance with the Developer's specific requirements.
 b) All side boundary fencing is to be 1.8m high and fully installed prior to occupation of the dwelling.
 c) All fencing is to conform with the requirements of the 'Planning for Bushfire Protection Guidelines.'
 d) Fencing shall be constructed of masonry piers with open-style infill along the entire length of the southern boundary.

NOTIFICATION FOR PROSPECTIVE PURCHASERS

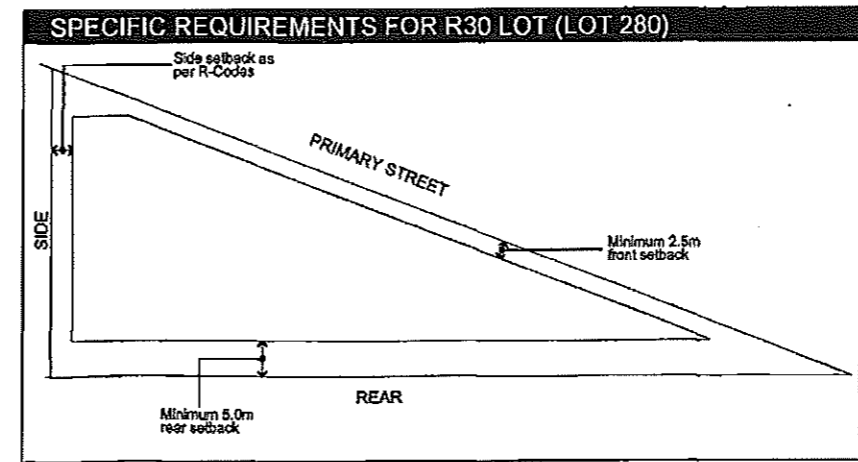
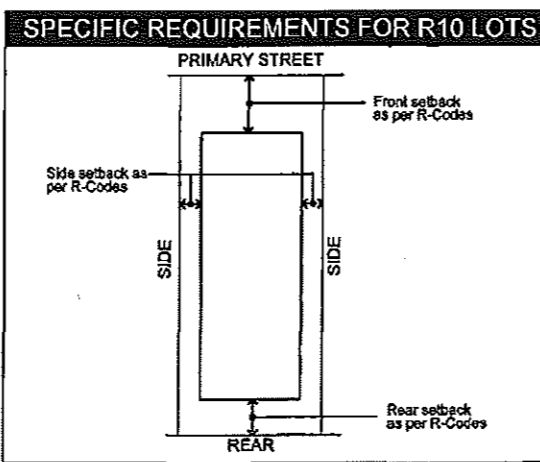
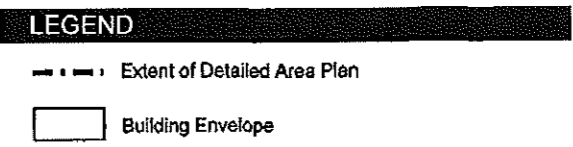
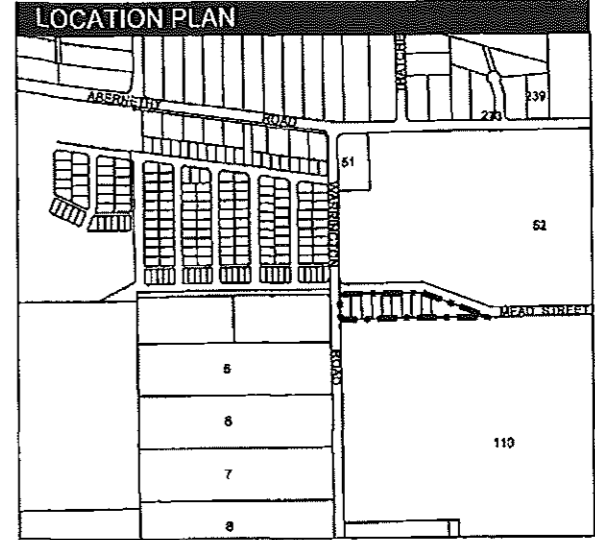
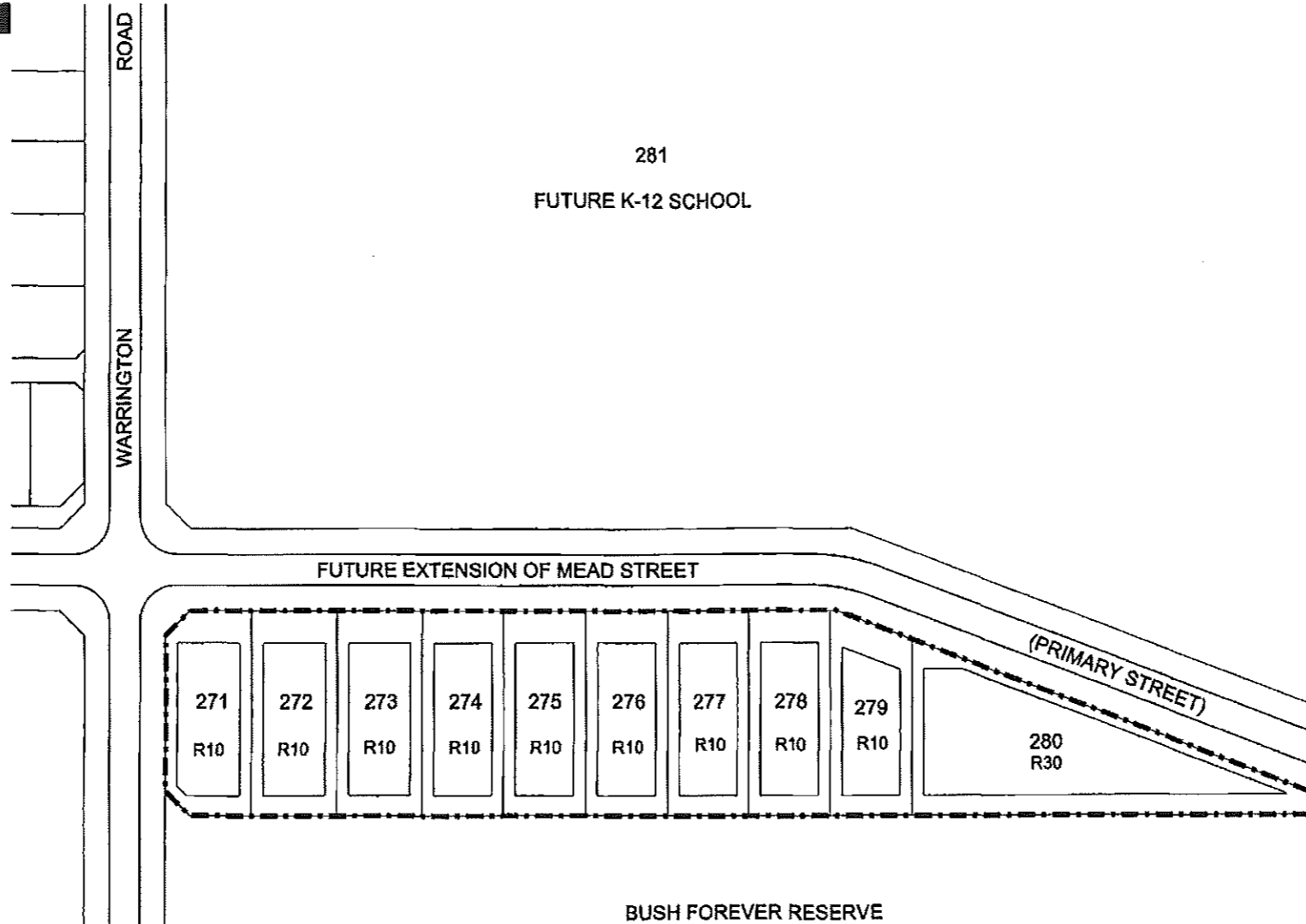
8. The Developer is required to give prospective purchasers a complete copy of all the requirements of this Detailed Area Plan prior to Offer and Acceptance being made.

FIRE MANAGEMENT REQUIREMENTS

9. The following fire management measures are to be implemented in the development of lots affected by the Detailed Area Plan:
 a) Trees within the rear setback are to be low pruned to at least a height of 2.0m.
 b) No tall shrubs are permitted to be located within 2.0m of a dwelling.
 10. Any proposed variations to the setbacks outlined on this Detailed Area Plan must conform with AS3959, as outlined in the 'Fire Protection - The Glades at Byford' document.

Advice Notes

1. Planning approval is not required, but a Building Licence is required, for the construction of a dwelling on any lot within the area covered by the Detailed Area Plan except where variations to the provisions of the Detailed Area Plan are sought.



ENDORSEMENT TABLE

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner:
 Director Development Services: *[Signature]*
 Trim Ref: A1947
 OCM Date: 23/05/11

Detailed Area Plan - Stage 9 (WAPC Ref: 141341)
 THE GLADES, BYFORD
 AN LWP BYFORD SYNDICATE PTY LTD PROJECT

Scale: 1:1500
 Date: 20/06/2011
 Project: PCG 94
 Taylor Burrell Barrett Town Planning & Design
 117 Roberts Road, Sydney, Western Australia 6008
 PC (08) 9362 2211 F (08) 9362 4566
 Email: admin@tbbplanning.com.au