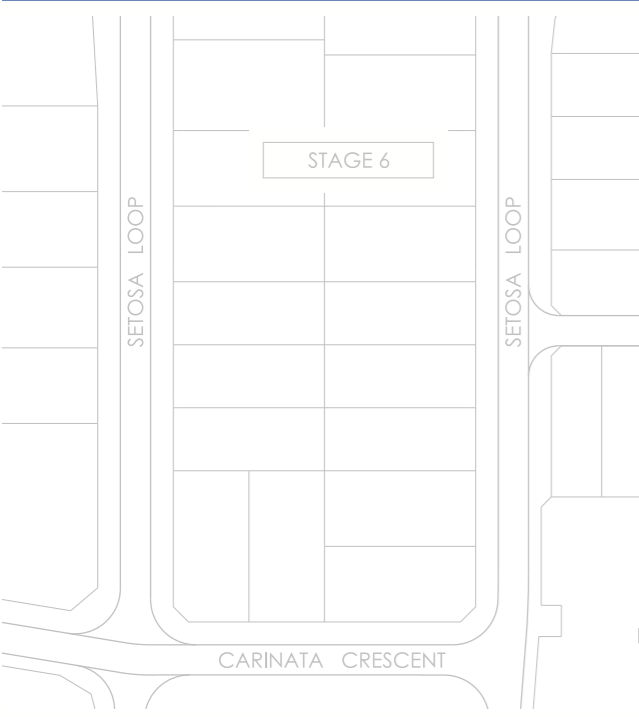
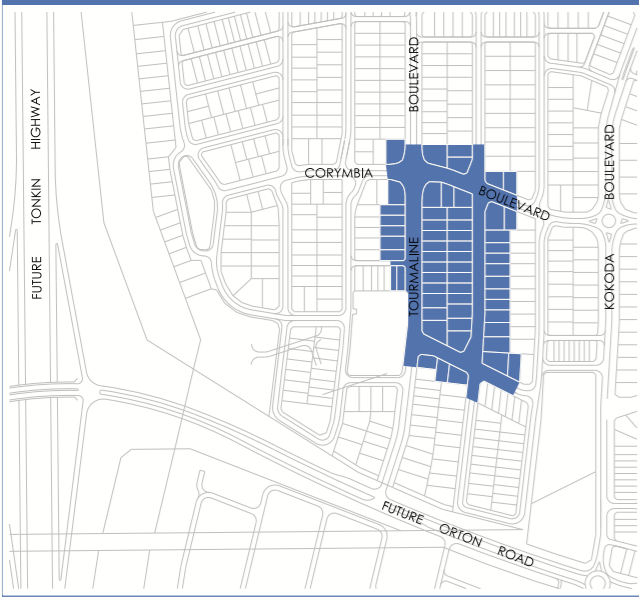


Location Plan



Amendment No.	Summary of Amendment	Date endorsed by Local Government

Legend

- Extent of Local Development Plan
- R20 Subject Lots
- R30 Subject Lots
- R40 Subject Lots
- Dwelling Orientation
- Visually Permeable Fencing
- No Vehicle Access Permitted
- Indicative Storm Water Connection Point (Final location to be confirmed onsite through survey)
- Designated Garage Location

Local Development Plan R-Code Variations

OCM226.4/12/16

- 1.1 Town Planning Scheme No.2 and the Residential Design Codes are varied as described in these notations.
- 1.2 The requirements of Town Planning Scheme No.2 and the Residential Design Codes shall be satisfied in all other matters.
- 1.3 Planning approval is not required, but a Building Permit is required, for the construction of a dwelling on any lot within the area covered by the Local Development Plan (LDP) (including lots with a land area less than 260m²) except where variations to the provisions of the LDP are sought.
- 1.4 The erection or extension of a single house on a lot contained within this LDP, which satisfies the requirement of this LDP, is exempt from the requirement to obtain development approval.

2 STREETScape REQUIREMENTS

Setbacks	Lots Applicable	Minimum	Maximum	Averaging	
Primary Street	Dwelling	Lots 2371, 2390-2391, 2403-2404, 2406-2407, 2441 & 2454	2.0m	N/A	• Averaging is not permitted to minimum
	Dwelling	Lots 2340, 2244-2245, 2363, 2367-2369, 2393, 2395, 2399, 2410, 2412-2413, 2416-2418	3.0m	N/A	• Averaging is not permitted to minimum
	Dwelling	All remaining lots	4.0m	N/A	• Averaging is not permitted to minimum.
	Garage (laneway access not applicable)	All lots (except Lots 2371, 2390-2391, 2403-2404, 2406-2407, 2441 & 2454)	4.5m	N/A	• Averaging is not permitted to minimum.
Secondary Street	Dwelling	All lots (including side boundary to laneway for Lot 2339)	1.0m	N/A	• Averaging is not permitted to minimum.
Laneway (and laneway truncation where applicable)	Garage or Carport	All laneway lots	0.5m	N/A	• Averaging is not permitted to minimum.
	Rear of Dwelling	All laneway lots	1.5m	N/A	• Averaging is not permitted to minimum.
	Studio/Balcony	All laneway lots (where located above garage)	0m	N/A	• Averaging is not required.

- 2.1 Dwellings are required to suitably address all adjacent street frontages to maximise visual surveillance. All visible house elevations (from building line to erected fence) from the secondary street shall feature a suitable level of detail in a manner consistent with the primary street elevation.

3 BOUNDARY SETBACK REQUIREMENTS

Setbacks	Lots Applicable	Requirements
Buildings on boundary (other than Street boundaries)	Lots 2371, 2390-2391, 2403, 2406-2407 & 2454	<ul style="list-style-type: none"> Buildings built up to one side boundary are permitted for a total maximum 2/3 length of boundary behind the street setback. Buildings built up to second side boundary are permitted for purposes of garage/store only – 9.0m maximum length behind the street setback. Walls not higher than 3.5m. Walls with an average height of 3.0m or less.
	Lots 2337 & 2338	<ul style="list-style-type: none"> Both Side Boundaries (other than street boundary for Lot 2338). Maximum total length determined by front and rear setbacks. Walls not higher than 3.5m Walls with an average height of 3.0m or less.

4 SPECIAL PROVISIONS FOR LOTS ADJOINING PUBLIC OPEN SPACE

Setbacks	Lots Applicable	Minimum	Maximum	Requirements
Public Open Space	Lots 2337-2338	4.0m	N/A	• Averaging permitted (as per the R-Codes).

- 4.1 For Lots 2337-2338, dwellings shall have one or more major opening(s) to a habitable room facing and allowing unobstructed views of the Public Open Space.
- 4.2 Outdoor Living Area (OLA) shall be located adjacent to Public Open Space.

5 OPEN SPACE REQUIREMENTS

Open Space Provision	Lots Applicable	Minimum	Requirements
	Lots 2337-2338, 2371, 2390-2391, 2403, 2406-2407 & 2454	35%	• OLA shall be located to maximise northern or eastern solar access.
	R20 Lots & Lots 2404-2405, 2419, 2441 & 2453	40%	

6 LANDSCAPING REQUIREMENTS

- 6.1 The front setback area, excluding the area of any verandah or porch, shall consist of soft landscaping in accordance with the following minimum requirements:

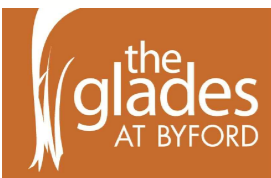
Soft Landscaping	Lots Applicable	Minimum
	Lots 2363, 2367-2368, 2395, 2399, 2410	35%
	Lots 2244-2245, 2339-2343, 2362, 2364-2366, 2369, 2371, 2390, 2393-2394, 2396-2398, 2400-2401, 2406, 2411-2418, 2441	45%
	Lots 2326, 2344, 2358-2361, 2370, 2391-2392, 2402-2405, 2407, 2409, 2419, 2453, 2454	50%

Note: 'soft landscaping' refers to any landscaped area with a minimum soil depth of 300mm that contains in ground planting, and is exclusive of removable planter boxes / pots and porous paving areas.

- 6.2 Rear open space area shall consist of at least 1/3 soft landscaping.
- 6.3 The provision of street trees and front and verge landscaping shall be supplied by the Developer in accordance with a landscape plan prepared to the satisfaction of the Shire of Serpentine-Jarrahdale.

7 INCIDENTAL DEVELOPMENT REQUIREMENTS

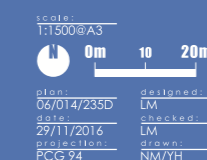
- 7.1 For Lots 2337-2338, a storeroom of minimum 4m² floor area shall be integrated into the dwelling and/or garage (i.e. under the same roof) and constructed of the same materials. No additional sheds or outbuildings are permitted.
- 7.2 Should a single dwelling be developed on Lot 2453, then access is to be obtained from Graceful Street
- 7.3 Should a single dwelling be developed on Lot 2419, then access is to be obtained from Blancoa Approach.
- 7.4 For Lot 2405, where a grouped dwelling is proposed, both dwellings are to obtain access from Tourmaline Boulevard via a shared battleaxe arrangement.



LOCAL DEVELOPMENT PLAN - ICARIA STAGE 7
The Glades, Byford
An LWP Byford Syndicate Pty Ltd Project



ENDORSEMENT TABLE	
Local Development Plan approved pursuant to Schedule 2, Part 6, cl. 52 of the Planning and Development (Local Planning Schemes) Regulations 2015	
Authorised Officer	
Date	19 December 2016



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