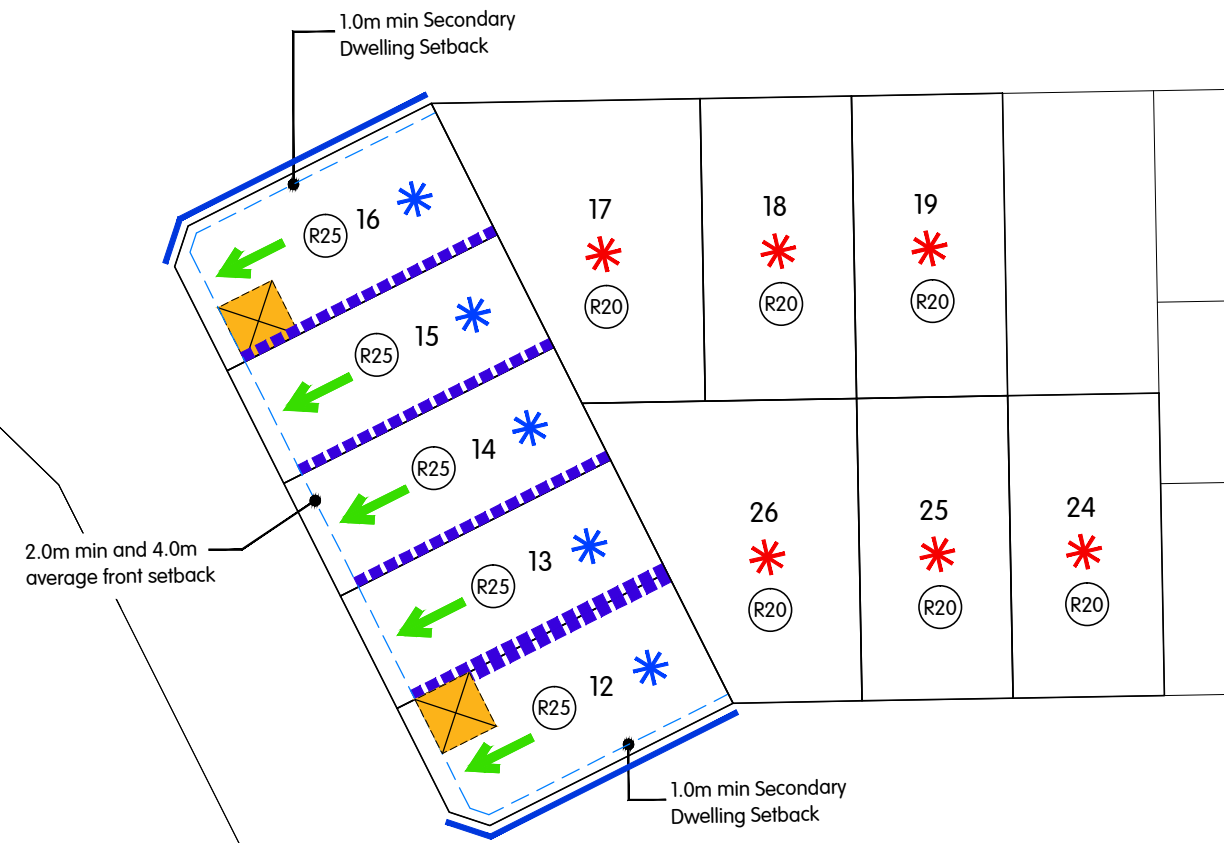
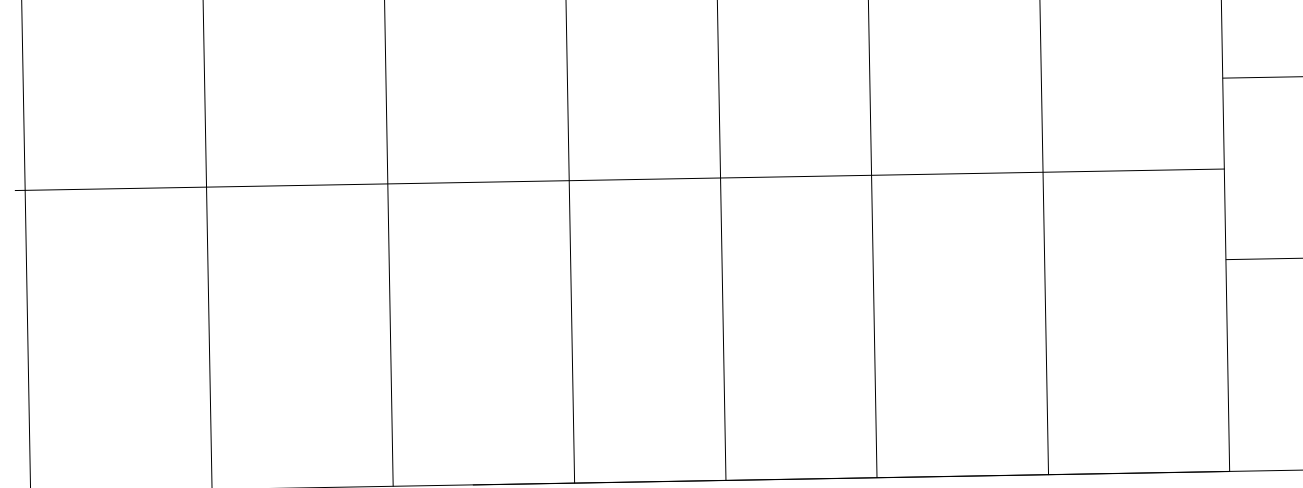


LOCATION AREA ■ **SUBJECT AREAS**

Endorsement Table
 Local Development Plan approved pursuant to Clause 5.18.5.1 (c) of Town Planning Scheme No 2

Karen Ruppel
 Authorised Officer

29/08/2014
 Date



- Local Development Plan Provisions**
- The Residential Density Code for each lot is as per the Residential Density Code Plan.
- Scheme and Residential Design Code Variations**
- The requirements of the Residential Design Codes are varied as follows.
 - All other requirements of the Residential Design Codes shall be complied with.
 - Consultation with adjoining or other landowners to achieve a variation to the R Codes, in accordance with the Local Development Plan (LDP), is not required.
 - Planning approval is not required, but a Building Permit is required, for the construction of a dwelling on any lot within the area covered by the LDP except where variations to the provisions of the LDP are sought.
 - Minor variations to the requirements of the Residential Design Codes and this LDP may be approved by the Shire of Serpentine-Jarrahdale.
- Visual Amenity and Streetscape Requirements**
- Averaging of setbacks is not permitted for minimum setback requirements on the primary, secondary or rear setbacks.
 - Dwellings are required to suitably address the primary frontages to maximise visual surveillance.
 - At least one habitable room must overlook the primary frontage.
 - A verandah or portico (subject to the Building Code of Australia) may project not more than 1.5m into the Primary Street setback.
 - Fencing of the primary frontage must be low with a maximum height of 1.2m above the natural ground level.
 - Fencing of the corner truncation and secondary frontage must be low or visually permeable from 1.2m above the natural ground level for a length of 5.5m from the corner truncation.
 - Corner dwellings must address the secondary street frontage with a suitable level of detail in the manner consistent with the primary street frontage for the first 4.5m behind the primary frontage setback.
 - Garage must be setback 1.0m behind the dwelling building line.
- Open Space Requirements**
- A minimum open space requirement of 40% of the site area for lots coded R20, and 35% of the site area for other lots, shall be maintained for each dwelling where the outdoor living area is generally orientated to maximise northern or eastern solar access.
 - Buildings shall generally be orientated to maximise northern or eastern solar access.
- Servicing**
- Clothes lines shall be screened such that they are not visible from any street or public space.
 - Solar hot water systems are to be integrated with the design of the roof.
- Nil Setback Boundaries**
- For boundaries with a nominated nil setback, the minimum ground floor setback shall be nil to the maximum extent determined by front and rear setbacks.

- LEGEND**
- R20 Density Code
 - Subject Lot Boundary
 - Lot Boundary
 - Dwelling Setbacks
 - ← Building Orientation
 - No Vehicle Access
 - Designated Garage Location
 - * Bushfire Attack Level 12.5
 - * Bushfire Attack Level 19
 - Nominated Nil Setback

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AERIAL PHOTOGRAPHY			
SOURCE:			
YYMMDD:			
CADASTRAL INFORMATION			
SOURCE:			
YYMMDD:			
DWG REF:			
PROJECTION:			
E	TEXT MODS	140827	RF RDU
D	DENSITY CODE	140821	RF RDU
C	TEXT MODS	140813	RF RDU
B	BAL RATING UPDATES	140715	RF RDU
A	BASE PLAN	140710	RF ER
REV	DESCRIPTION	YYMMDD	DRAWN APPR'D

LOCAL DEVELOPMENT PLAN - STAGE 1 (LDP 5)
Lots 12-19 & 24-26 Whitby
 Shire of Serpentine-Jarrahdale

REF NO. **GOG WHI** DRAW NO. **RD1 406** REV. **E**