



- LOCAL DEVELOPMENT PLAN PROVISIONS**
- The Residential Density Code for each lot is as per the Residential Density Code Plan.
- SCHEME & RESIDENTIAL DESIGN CODE VARIATIONS**
- The requirements of the Residential Design Codes are varied as follows.
 - All other requirements of the Residential Design Codes shall be complied with.
 - Planning Approval is only required where variations to the provisions of this LDP are sought.

- VISUAL AMENITY AND STREETSCAPE REQUIREMENTS**
- Averaging of setbacks is not permitted.
 - At least one habitable room must be located to provide overlooking and surveillance in accordance with building orientation.
 - A verandah or portico subject to the Building Code of Australia may project not more than 1.5m into the dwelling setback.
 - Where building orientation is specified, fences shall be visually permeable above 1.2m in height.
 - Corner dwellings and fencing must address the both frontages in accordance with provisions 8, 9 and 10 (as applicable) for not less than 4.5m of the secondary frontage.
 - Garages with direct frontage to a street must be setback 1.0m behind the dwelling building line.
 - For corner lots less than 16m in width, where access is proposed from the primary frontage, building may be setback up to 2.5m behind the garage provided that a portico, verandah or other entry feature, not less than 2.5m wide, is proposed within 750mm of the building line of the garage.
 - Driveways may be located closer than 6m to the corner or the point at which the carriageway begins to deviate on Lots 322, 331, 333, and 335.

- OPEN SPACE REQUIREMENTS**
- For all lots a minimum open space requirement is 40%, where the dwelling has two or more habitable rooms with major openings orientated to maximise northern or eastern solar access.

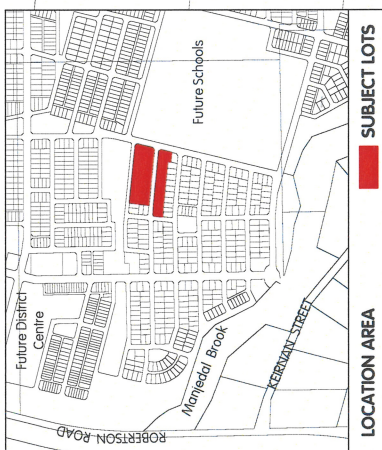
LEGEND

- Subject Site
- Subject Lot Boundary
- Surrounding Lot Boundaries
- Dwelling Setbacks
- Nominated Nil Setback
- Density Code
- Garage Orientation
- Building Orientation
- No Vehicle Access
- BAL Applies

Endorsement Table
 Local Development Plan approved pursuant to Schedule 2, Part 6
 Clause 52 of the Planning and Development (Local Planning
 Schemes) Regulations 2015

P. Munday
 Authorised Officer

5/12/16
 Date



LOCATION AREA

SUBJECT LOTS

Scale: 1:1000
 0 metres

TEXT CHANGES	DATE	BY	REASON
F	16/12/19	HH	DD
D	16/01/15	HH	DD
C	15/12/22	HH	DD
REV DESCRIPTION	YMMDD	DD	MM

LOCAL DEVELOPMENT PLAN - STAGE 2C (LDP 11)
 Lots 321 - 344, 349 - 358 & 427 - 431 Whitby
 Shire of Serpentine-Jarradale

REV. NO. DRAW NO. REV. F
 GOG WHI RD1 411 F

DISCLAIMER: ISSUED FOR DESIGN INTENT ONLY. ALL AREAS AND DIMENSIONS ARE SUBJECT TO DETAIL DESIGN AND SURVEY