

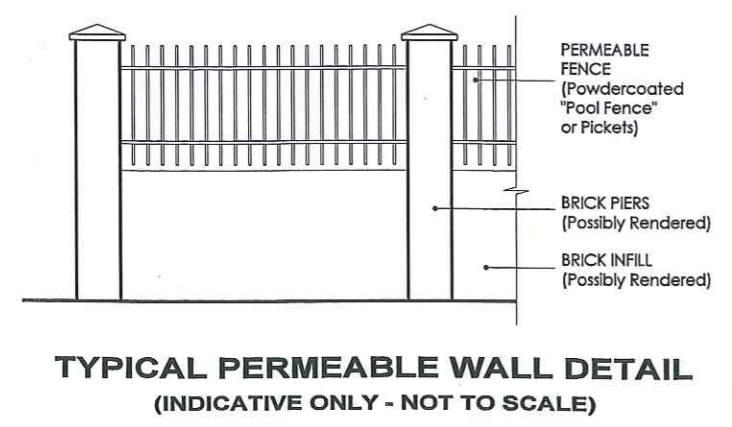


DESIGN GUIDELINES

FOR LOTS 919-926 (INCLUSIVE) ONLY

- R-CODING (All Lots)**
- The Residential Density Code applying to these lots is R20.
- SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS**
- The requirements of the Scheme and Residential Design Codes are not proposed to be varied.
- DESIGN ELEMENTS - NOISE ATTENUATION**
- Dwellings constructed on the subject lots shall be designed to comply with Australian Standard AS2107-2000 "Acoustics - Recommended Design Levels Reverberation Times for Building Interiors" and the Noise Levels of 45dB(A) Living and 40dB(A) Sleeping.
 - Design shall incorporate opening reductions by limiting the size of openings/windows on facades facing South Western Highway.
 - Bedrooms shall be placed in the parts of the house furthest away from South Western Highway.
 - All external walls shall be constructed of double brick.
 - All eaves shall be enclosed.
 - All roof materials shall be either clay or concrete tiles.
 - All glazing shall be 6mm thick laminated except on those facades facing 180 degrees away from South Western Highway.
 - All external doors shall be of solid core construction with seals.
 - All plasterboard in ceilings shall be 10mm thick with 50mm thick 12Kg/m2 glass fibre blanket between ceiling joists.
- DESIGN ELEMENTS - VISUAL AMENITY**
- The developer is to build a 2.0 metre high masonry wall of rammed earth or similar toned colours along the full length of the eastern (rear) boundaries of Lots 919 - 926.
 - The developer is to plant trees and shrubs in the public open space and the eastern / northern drainage reserves of a type and density adequate to provide a visual screen between adjacent lots and Thomas Road / South Western Highway to the satisfaction of the Shire.
 - Fencing of the front and side boundaries forward of the building line of all lots shall be visually permeable 1.2m above natural ground.
 - Clothes drying lines and rubbish bin storage must be located or screened such that they are not visible from any street or public open space to the satisfaction of the Shire.
 - Outbuildings must be constructed of colours to match the walls and/or roof of the dwelling to the satisfaction of the Shire.
 - Air conditioning/cooling units must be of similar colour to the roof and must not protrude above any roof ridgelines or gables. Units are not to be visible from the adjacent street, South Western Highway or public open space areas and must be positioned to prevent noise impacts in accordance with the Department of Environments "Installers Guide to Airconditioner Noise" publication.
 - Solar hot water systems must be integrated with the design of the roof, and where visible from adjacent front street, South Western Highway or public open space areas must be a split system with the tank installed at ground level or out of public view.
- NOTIFICATION TO PROSPECTIVE PURCHASERS**
- The developer is required to give prospective purchasers of Lots 919-926 (inclusive) a complete copy of all the requirements of this Detailed Area Plan prior to the Offer and Acceptance being made.
 - A Section 70A Notification is to be placed on the title of lots 919-926 (inclusive) advising that future dwellings and lots may be subject to noise from South Western Highway.
- Advice Notes:**
- Planning Approval is not required for the construction of a dwelling on any lot covered by this Detailed Area Plan except where variations to the provisions of this Detailed Area Plan are sought.
 - Variations to any provision contained in this Detailed Area Plan will only be supported by the Shire where the applicant can demonstrate that the objectives and intent of the relevant provisions can still be achieved.
 - The noise attenuation measures required to be incorporated in the design of dwellings shall be shown on the plans submitted for a Building Licence.
 - All lots are subject to additional estate design guidelines.

NOTE: THE LOT NUMBERS SHOWN ON THIS PLAN ARE INDICATIVE ONLY AND MAY DIFFER FROM THE ACTUAL FINAL LOT NUMBERS



- LEGEND**
- 919-926 Lots subject to design guidelines
 - Public Open Space / Drainage
 - 2 metre high masonry wall
 - 2 metre high colorbond fencing
 - 2 metre high masonry wall with a visually permeable fence
 - Existing Trees
 - Indicative possible tree planting

The purchaser/s of Lot _____ acknowledge that they are in receipt of the Lot 3 Thomas Road, Byford design guidelines and hereby undertake to comply with these guidelines:

SIGNATURE/S: _____ DATE: _____

Base data supplied by Project Surveyor
Areas and dimensions shown are subject to final survey calculations. All cartways are shown for illustrative purposes only and are subject to detailed engineering design.

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(WAPC REF: 125011)

GOLDLIGHT PTY LTD : CLIENT
Not to Scale @ A3 : SCALE
20 September 2007 : DATE
156-4-001e : PLAN N
e : REVISION
S.G. : PLANNER
M.H. : DRAWER

DETAILED AREA PLAN
"ST THOMAS PRIVATE ESTATE"
LOT 3 THOMAS ROAD, BYFORD

koltasz
SMITH
PLANNING - PROJECT MANAGEMENT
DESIGN - DEVELOPMENT CONSULTING

Director Development Services
Serpentine Jarrahdale Shire

Date: 29/1/07