


Amended Detailed Area Plan adopted pursuant
to provisions of clause 5.18.5.1(c)(i) on 15th day
of December 2008


Brad Gleeson, Director Development Services
Under delegated authority from the Council of
the Shire of Serpentine Jarrahdale
(CGAM064/02/08)

Clause 3.6 amended to allow zincalume and tile
roof materials.



TOWN PLANNING
AND URBAN DESIGN



DETAILED AREA PLANS

LOTS 6 & 27 ABERNETHY ROAD, BYFORD

STAGE 1

OUR REF: 706-122
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perth
melbourne
sydney

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Notification To Prospective Purchasers

The developer is required to give prospective purchasers a complete copy of all the requirements of this Detailed Area Plan prior to Offer and Acceptance being made.

FIGURE 1



*Lot areas, numbers subject to final survey

1.0 APPLICATION

The Lots 6 and 27 Abernethy Road, Byford Stage 1 Detailed Area Plans (DAPs) apply to Lots 13, 14, 26-35, 46-48 and 57, Byford (the policy area) and as indicated on FIGURE 1.

These DAPs have been prepared to assist Council with dealing with the initial development of dwellings within the areas coded R25 under the Local Structure Plan prepared for Lots 6 and 27 Abernethy Road, Byford. They have been adopted by Council under the provisions of clause 5.18.5.1(c) of the Shire of Serpentine-Jarrahdale Town Planning Scheme and new development is required to comply with these DAPs in addition to the provisions of the Shire of Serpentine-Jarrahdale Town Planning Scheme and the Residential Design Codes of Western Australia (R-Codes). Where there is an inconsistency between the DAP and the R-Codes, the provisions of the DAPs shall prevail.

2.0 OBJECTIVES

The objectives of these DAPs are:

- To achieve visually attractive development that contributes to the built form and character of the Byford area;
- To create intimate, uniform streetscapes through the appropriate siting and design of dwellings;
- To ensure new development contributes to the safety and amenity of the street and public open space areas; and
- To incorporate passive energy conservation principles within new development.

3.0 DEVELOPMENT CONTROL

New development is to conform to the following provisions and the requirements of the DAP. (REFER TO APPENDIX 1).

3.1 RESIDENTIAL DENSITY

The Residential Design Code that applies to these lots is R25. A maximum of one dwelling per lot is permitted.

3.2 Design Elements

To ensure new development incorporates passive energy conservation, water management and passive surveillance principles, all dwellings shall incorporate the following design elements:

- At least one habitable room with a north facing major opening to maximise solar orientation;
- Appropriately sized and located windows/openings that ensure good passive surveillance of the street and public areas;
- Minimal east and west facing openings and where such openings are required for cross ventilation and surveillance over the street, they shall be protected with awnings, eaves or the similar design elements;
- A rainwater storage tank of a minimum of 2000 litres (above ground or below ground) shall be provided and connected to the dwelling's reticulation and/or toilet facilities; and

- Water conserving appliances and fittings such as AAAA rated showerheads, toilets and low-flow water regulators.

3.3 BUILDING FORM

Generally building form should reflect the character of the Byford area. The maximum height for development is two storeys, although the roof space may also be used as a habitable space.

Dwellings constructed on corner allotments (including those with a side exposed to a laneway) shall be designed to address both street frontages. This may be achieved via the use of wrap-around verandahs, feature windows and detailing that complements the front elevation.

3.4 SETBACKS

Development shall be constructed within the building envelopes described on the DAP.

A nil setback is permitted to the boundaries nominated in the DAP.

Garages abutting laneways shall be setback a minimum of 1.0 metre from the boundary abutting the rear laneway. Garages accessed via a street, shall be setback 4.5 metres from the primary street boundary.

Any upper floor development shall be constructed within the forward 50% of the lot.

3.5 GARAGING AND ACCESS

All dwellings shall be provided with a double garage/ carport constructed in materials to complement the dwelling. The DAP identifies the preferred location of garaging. Variations to the preferred location may be permitted at the discretion of the Shire where the location does not compromise the solar efficiency of the dwelling. Lots with laneway access shall be accessed from the lane with no vehicular access being permitted from any street.

Crossovers shall be a maximum of 6 metres in width and be of brick, concrete or asphalt sealed construction.

3.6 BUILDING MATERIALS

Buildings are to be constructed of face brick, rendered masonry or limestone facework. Roofs shall be either clay tile, colourbond, zincalume or concrete tile construction. Feature panels of timber cladding or stone may be permitted.

3.7 OUTDOOR LIVING AREAS

A private outdoor living area shall be provided directly accessed from a living area and generally located in accordance with the DAP. The dimension and size of the area shall be in accordance with the R-Codes.

3.8 FENCING

Rear and side fencing (behind the building line) shall be a maximum of 1.8 metres high and constructed in Colorbond materials.

Any fencing forward of the building line shall be a maximum of 1.1 metres high, visually permeable and constructed of timber picket or post and rail fencing.

3.9 LANDSCAPING

Landscaping should be designed to optimise elements of passive solar design and climate control. This can be achieved through planting shade trees to western elevations and deciduous trees to northern elevations.

3.10 OTHER CONSIDERATIONS

3.10.1 OUTBUILDINGS

Outbuildings shall be setback behind the main building and predominantly screened from view from the public domain.

The use of materials, colour and design for compatibility with the main building will be encouraged.

The maximum floor area of any outbuilding is as per the requirements of clause 6.10.1 of the Residential design Codes of Western Australia 2008.

3.10.2 RUBBISH BINS

An area shall be provided to ensure that PVC wheeled bins can be screened from public view.

3.10.3 TV ANTENNAS, SATELLITE DISHES AND RADIO MASTS

TV antennas are to be located within the roof space or to the rear of the dwelling. Satellite dishes and radio masts require planning approval from the Shire and should be located so they are not visible from the street.

3.10.4 SOLAR COLLECTORS/RAINWATER TANKS

Solar collectors and rainwater tanks shall be located so as not to be visible to the front elevation of the dwelling.

Solar collectors shall be integrated to match the roof colour and profile. Ideally, they should be located on the plane of the roof at the rear, with the tank being installed within the roof. Where the most effective orientation requires the siting of the solar collector to be visible from the street, then the storage tank must be located within the roof space or fixed to the ground.

3.10.5 AIR CONDITIONERS

As air conditioners and evaporative coolers can often be noisy and unsightly, it is important that they be located in areas that minimise the impact on neighbours and not be easily viewed from the street. Generally this will be achieved by installing them to the rear of the roof and be of a similar colour to match the roof.

3.11 SPECIAL PROVISIONS FOR REAR LANEWAY LOTS

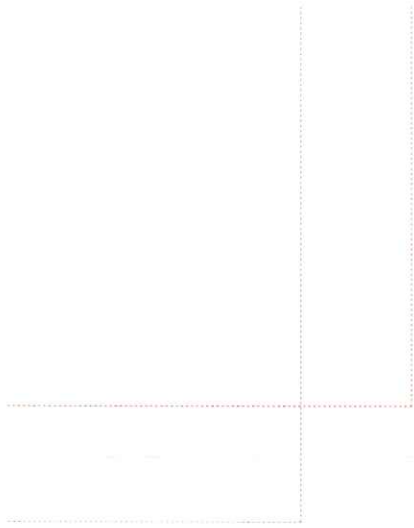
The following special provisions are to be included in Detailed Area Plans for lots with rear laneways:

1. The postal and street address is to be the street at the front of the dwelling and not the rear laneway.
2. Access for utilities is to be from the street frontages of the lots only.
3. A paved bin pad is to be provided inside the lot abutting the boundary to the rear laneway for pickup of bins by waste disposal contractors.
4. Garages shall be developed and accessed from the adjacent rear lanes only.
5. An alternative garage location may be approved along the adjacent rear laneway of Lots 28 to 33 subject to design.
6. All vehicle access is to be from the rear laneway at all times.

4.0 APPROVAL OF PLANS

Development within the DAP area requires the written planning consent of the Shire of Serpentine-Jarrahdale. A planning application must be lodged for all new developments, including dwellings and outbuildings, in the DAP area.

Following approval of the plans, the applicant can then apply to the Shire for a building licence.



APPENDIX 1

Brad Gleeson
 Brad Gleeson, Director Development Services
 Under delegated authority from the Council of
 the Shire of Serpentine Jarrahdale
 (CGAM064/02/08)

Clause 3.6 amended to allow zincalume and tile roof materials.

- Zero lot development permitted
- Ground floor building envelope (maximum)
- Upper floor building envelope (maximum)
- ▨ Private outdoor living area zone
- ⊗ Preferred garage location

- Nil side setback permitted
- 1m minimum side setback to upper floor
- 3m average front setback
- 1.5m minimum front setback
- 1m minimum side setback
- Upper floor limited to front 50% of lot
- 1m minimum rear setback
- 1m minimum setback to garage
- 3.5m minimum, 4.5m maximum front setback
- 4.5m minimum setback to garage
- 1m minimum side setback to upper floor
- 1m minimum side setback
- 1m minimum rear setback
- 1m minimum side setback to upper floor
- 1m minimum side setback
- 1m minimum rear setback
- 1m minimum side setback
- 1m minimum side setback to upper floor
- 4.5m minimum setback
- Upper floor limited to front 50% of lot
- 1m minimum setback to garage
- 1m minimum setback to garage
- Upper floor limited to front 50% of lot
- 3.5m minimum, 4.5m maximum front setback
- 4.5m minimum setback to garage

