

## DETAILED AREA PLAN PROVISIONS

### RELATIONSHIP TO THE SCHEME & RESIDENTIAL DESIGN CODE VARIATIONS

This Detailed Area Plan (DAP) has been prepared and adopted by Council pursuant to clause 5.18.5.1(c) of the Shire of Serpentine-Jarrahdale Town Planning Scheme No. 2 (Scheme).

New development is required to comply with this DAP in addition to the provisions of the Scheme and the Residential Design Codes of Western Australia (R-Codes). Where there is an inconsistency between the DAP and the R-Codes, the provisions of the DAP shall prevail.

### RESIDENTIAL DENSITY

- The residential density coding that applies to Lots 13, 14, 26-35 & 46 is R25. A maximum of one dwelling per lot is permitted.
- The residential density coding that applies to Lots 47 & 56 is R20. A maximum of one dwelling per lot is permitted.
- The residential density coding that applies to Lots 1 & 9500 is R40. A maximum of 10 dwellings is permitted on Lot 1 and 19 dwellings on Lot 9500.

### DESIGN ELEMENTS

To ensure new development incorporates passive energy conservation, water management and passive surveillance principles, all dwellings shall incorporate the following design elements:

- At least one habitable room with a north facing major opening to maximise solar orientation;
- Appropriately sized and located windows/openings that ensure good passive surveillance of the street and public areas;
- Minimal east and west facing openings and where such openings are required for cross ventilation and surveillance over the street, they shall be protected with awnings, eaves or the similar design elements;
- A rainwater storage tank of a minimum of 2000 litres (above ground or below ground) shall be provided and connected to the dwelling's reticulation and/or toilet facilities; and
- Water conserving appliances and fittings such as AAAA rated showerheads, toilets and low-flow water regulators.

### BUILDING FORM

- Generally building form should reflect the character of the Byford area.
- The maximum height for development is two storeys, although the roof space may also be used as a habitable space.
- Dwellings constructed on corner allotments (including those with a side exposed to a laneway) shall be designed to address both street frontages. This may be achieved via the use of wrap-around verandahs, feature windows and detailing that complements the front elevation.
- Development on Lot 9500 shall be designed to address both street frontages and adjacent public open space areas. Development that provides opportunities for the passive surveillance of open space areas is encouraged. This may be achieved via the use of wrap-around verandahs, feature windows and detailing that complements the front elevation.

### SETBACKS

- Development shall be constructed within the building envelopes described on the DAP. A nil setback is permitted to side boundaries of lots as nominated on the DAP.
- Garages abutting laneways shall be setback a minimum of 1.0 metre from the boundary abutting the rear laneway.
- Garages accessed via a street, shall be setback 4.5 metres from the primary street boundary.
- Any upper floor development shall be constructed within the forward 50% of the lot.

### GARAGING AND ACCESS

- All dwellings shall be provided with a double garage/carport constructed in materials to complement the dwelling.
- The DAP identifies the preferred location of garaging. Variations to the preferred location may be permitted at the discretion of the Shire where the location does not compromise the solar efficiency of the dwelling.
- Crossovers shall be a maximum of 6 metres in width and be of brick, concrete or asphalt sealed construction.
- Shared crossovers to grouped dwellings sites shall be generally in accordance with the location shown on the DAP.
- No vehicle access is permitted from Abernethy Road.

### BUILDING MATERIALS

- Buildings are to be constructed of face brick, rendered masonry or limestone facework.
- Roofs shall be either clay tile, colourbond, zincalume or concrete tile construction. Feature panels of timber cladding or stone may be permitted.

### OUTDOOR LIVING AREAS

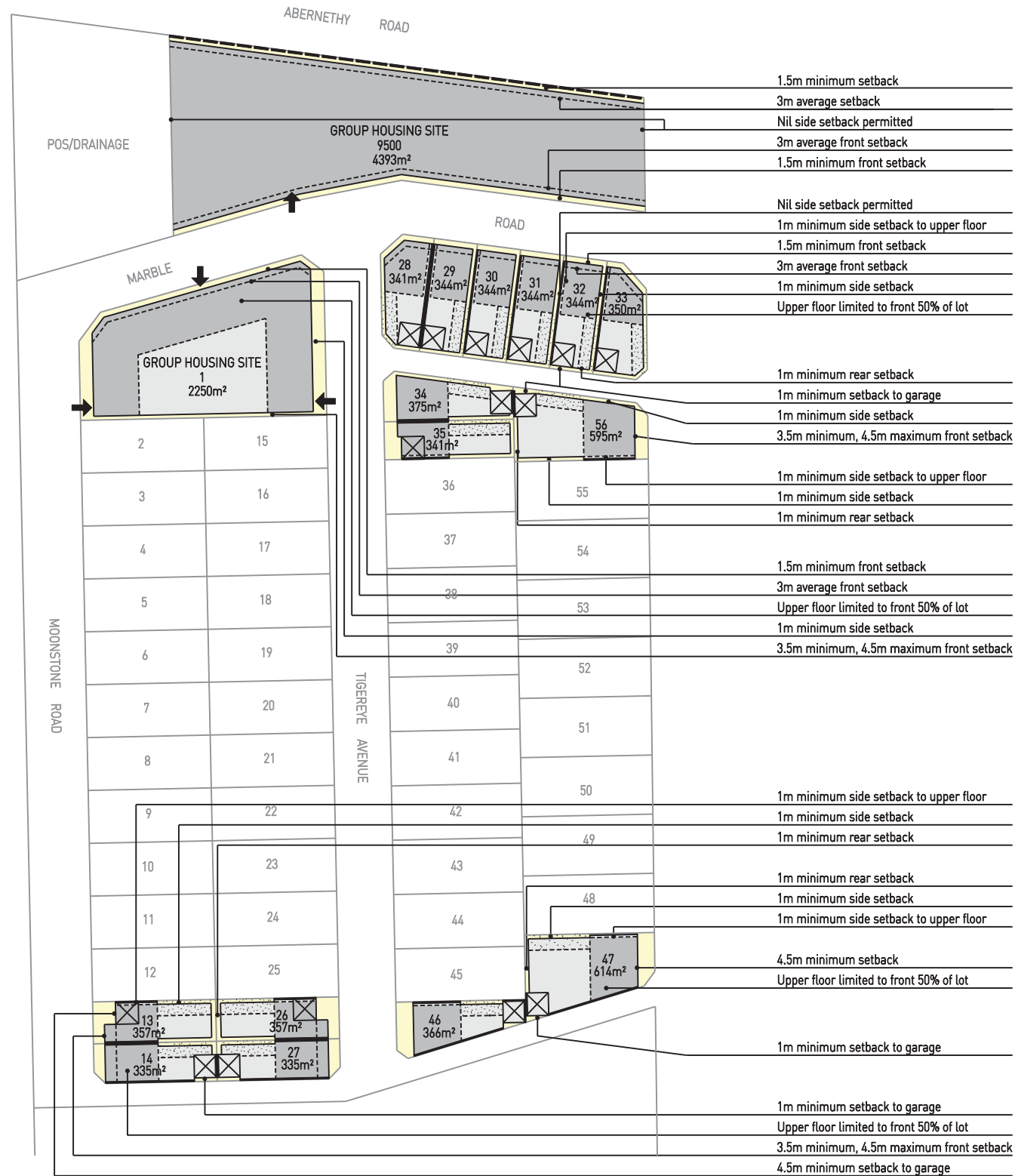
- A private outdoor living area shall be provided directly accessed from a living area and generally located in accordance with the DAP. The dimension and size of the area shall be in accordance with the R-Codes.

### FENCING

- Rear and side fencing (behind the primary street building line) shall be a maximum of 1.8 metres high and constructed in Colorbond materials.
- Any fencing forward of the primary street building line shall be a maximum of 1.1 metres high, visually permeable and constructed of timber picket or post and rail fencing.

### OUTBUILDINGS

- Outbuildings shall be setback behind the main building and predominantly screened from view from the public domain.
- The use of materials, colour and design for compatibility with the main building will be encouraged.
- The maximum floor area of any outbuilding is as per the requirements of clause 6.10.1 of the R-Codes.



### LEGEND

- Ground floor building envelope (maximum)
- Upper floor building envelope (maximum)
- Private outdoor living area zone
- Zero lot development permitted
- Preferred garage location
- Preferred location of shared crossover (where proposed)
- No vehicular access permitted



## STAGE 1 DETAILED AREA PLAN

### GRANGE MEADOWS ESTATE

8 APRIL 2013

DWG:708-278DAP1B080413.INDD

## DETAILED AREA PLAN PROVISIONS (CONT.)

### LANDSCAPING

- Landscaping should be designed to optimise elements of passive solar design and climate control. This can be achieved through planting shade trees to western elevations and deciduous trees to northern elevations.

### RUBBISH BINS

- An area shall be provided to ensure that PVC wheeled bins can be screened from public view.

### TV ANTENNAS, SATELLITE DISHES AND RADIO MASTS

- TV antennas are to be located within the roof space or to the rear of the dwelling. Satellite dishes and radio masts require planning approval from the Shire and should be located so they are not visible from the street.

### SOLAR COLLECTORS/RAINWATER TANKS

- Solar collectors and rainwater tanks shall be located so as not to be visible to the front elevation of the dwelling.
- Solar collectors shall be integrated to match the roof colour and profile. Ideally, they should be located on the plane of the roof at the rear, with the tank being installed within the roof. Where the most effective orientation requires the siting of the solar collector to be visible from the street, then the storage tank must be located within the roof space or fixed to the ground.

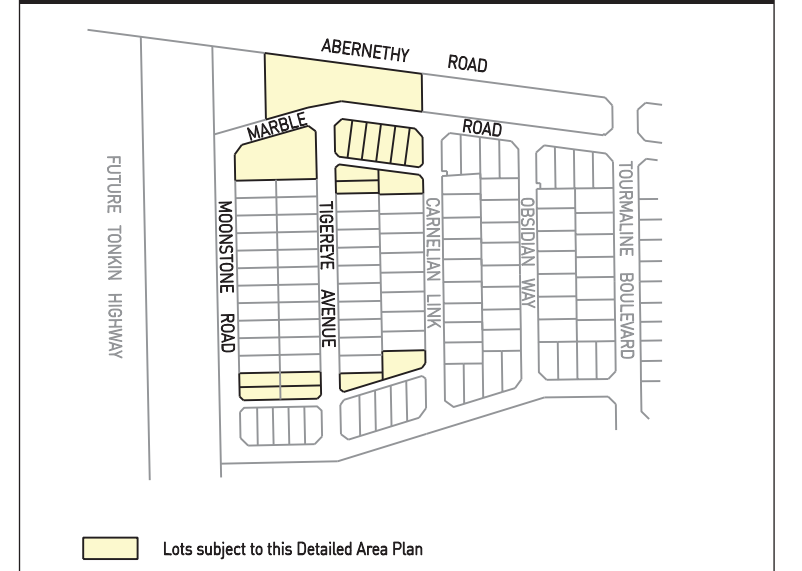
### AIR CONDITIONERS

- As air conditioners and evaporative coolers can often be noisy and unsightly, it is important that they be located in areas that minimise the impact on neighbours and not be easily viewed from the street. Generally this will be achieved by installing them to the rear of the roof and be of a similar colour to match the roof.

### SPECIAL PROVISIONS FOR REAR LANEWAY LOTS

- The postal and street address is to be the street at the front of the dwelling and not the rear laneway.
- Access for utilities is to be from the street frontage of the lots only.
- A paved bin pad is to be provided inside the lot abutting the boundary to the rear laneway for pickup of bins by waste disposal contractors.
- Garages shall be developed and accessed from the adjacent rear lanes only.
- An alternative garage location may be approved along the adjacent rear laneway of Lots 28 to 33 subject to design.
- All vehicle access is to be from the rear laneway at all times.

## LOCATION PLAN



## ENDORSEMENT PANEL

Detailed Area Plan approved pursuant to clause 5.18.5.1(c) of Shire of Serpentine-Jarrahdale Town Planning Scheme No. 2.

Authorised Officer

16/05/13

Date



TOWN PLANNING AND URBAN DESIGN