

**REDGUM BROOK ESTATE STAGE 5**

**DETAILED AREA PLAN OF LOTS 553 - 558 INCLUSIVE - NOISE ATTENUATION**

TO ACHIEVE COMPLIANCE WITH STATE PLANNING POLICY 5.4 'ROAD AND RAIL TRANSPORTATION NOISE AND FREIGHT CONSIDERATION IN LAND USE PLANNING' A COMBINATION OF 'QUIET HOUSE' DESIGN AND PRACTICAL BARRIERS IS PROPOSED TO ATTENUATE NOISE TO THE FIRST ROW OF RESIDENCE ADJACENT TO TONKIN HIGHWAY.

**1. PRACTICAL BARRIER**

- 1.1 A 2.0m NOISE BARRIER IS TO BE CONSTRUCTED ON THE WESTERN BOUNDARY OF KOOLBARDI LOOP AS DEPICTED ON THIS DAP.
- 1.2 THE FORM OF CONSTRUCTION SHALL BE HARDIFENCE OF MINIMUM DENSITY OF 12kg/m<sup>2</sup>. THIS IS CONSIDERED TO BE AN ACCEPTABLE FORM OF SOLID CONSTRUCTION.
- 1.3 UNDER SPP5.4 AS THE NOISE SOURCE WILL BE GENERATED AFTER TONKIN HIGHWAY IS CONSTRUCTED IT SHOULD BE THE RESPONSIBILITY OF THE INFRASTRUCTURE PROVIDER (Main Roads WA) TO CONSTRUCT THE BARRIER FENCE. IN THIS CASE HOWEVER, THE DEVELOPER WILL CONSTRUCT THE BARRIER FENCE.

**2. QUIET HOUSE DESIGN REQUIREMENTS**

- 2.1 THE RESIDENCE TO BE CONSTRUCTED ON THE SUBJECT LOTS ARE TO BE DESIGNED TO COMPLY WITH THE FOLLOWING 'QUIET HOUSE' INTERNAL CRITERIA:  
 Living and Work Areas  $L_{Aeq(Day)}$  of 40 dB(A)  
 Bedrooms  $L_{Aeq(Night)}$  of 35 dB(A)  
 ADDITIONALLY, WHERE POSSIBLE, LOCALISED AMELIORATION METHODS SHOULD BE INCORPORATED INTO THE HOUSE DESIGN WITH THE AIM OF ACHIEVING AN  $L_{Aeq(Night)}$  OF 50 dB(A) IN AT LEAST ONE OUTDOOR LIVING AREA.

**2.2 DESIGN ELEMENTS - BUILDING GUIDELINES**

- EXTERNAL WALLS SHALL BE OF DOUBLE BRICK CONSTRUCTION.
- CASEMENT WINDOWS WITH EXPOSURE TO TONKIN HIGHWAY TO BE PROVIDED WITH COMPRESSIVE SEALS.
- GROUND FLOOR GLAZING TO BEDROOMS WITH EXPOSURE TO THE TONKIN HIGHWAY TO BE CASEMENT TYPE WINDOWS WITH 6.38mm THICK LAMINATED GLASS. OTHER LIVING SPACES WITH EXPOSURE TO THE TONKIN HIGHWAY TO BE CASEMENT TYPE WINDOWS WITH MINIMUM OF 6mm GLASS.
- EAVES TO BE ENCLOSED USING 6mm THICK COMPRESSED CEMENT SHEETING OR EQUIVALENT.
- SLIDING DOORS FROM LIVING SPACES TO AN OUTDOOR AREA WITH EXPOSURE TO TONKIN HIGHWAY ARE ACCEPTABLE, PROVIDED THE SLIDING DOORS WITH SEALS AND OVERLAPPING MEETING STILES.
- SLIDING DOORS TO BEDROOMS WITH EXPOSURE TO TONKIN HIGHWAY ARE NOT ACCEPTABLE.
- ROOFS TO BE COLORBOND (or equivalent) WITH MINIMUM 50mm ANTICON, WITH CEILINGS OF 13mm PLASTERBOARD TO THE BEDROOMS AND MINIMUM R2.5 INSULATION LAID OVER THE TOP.

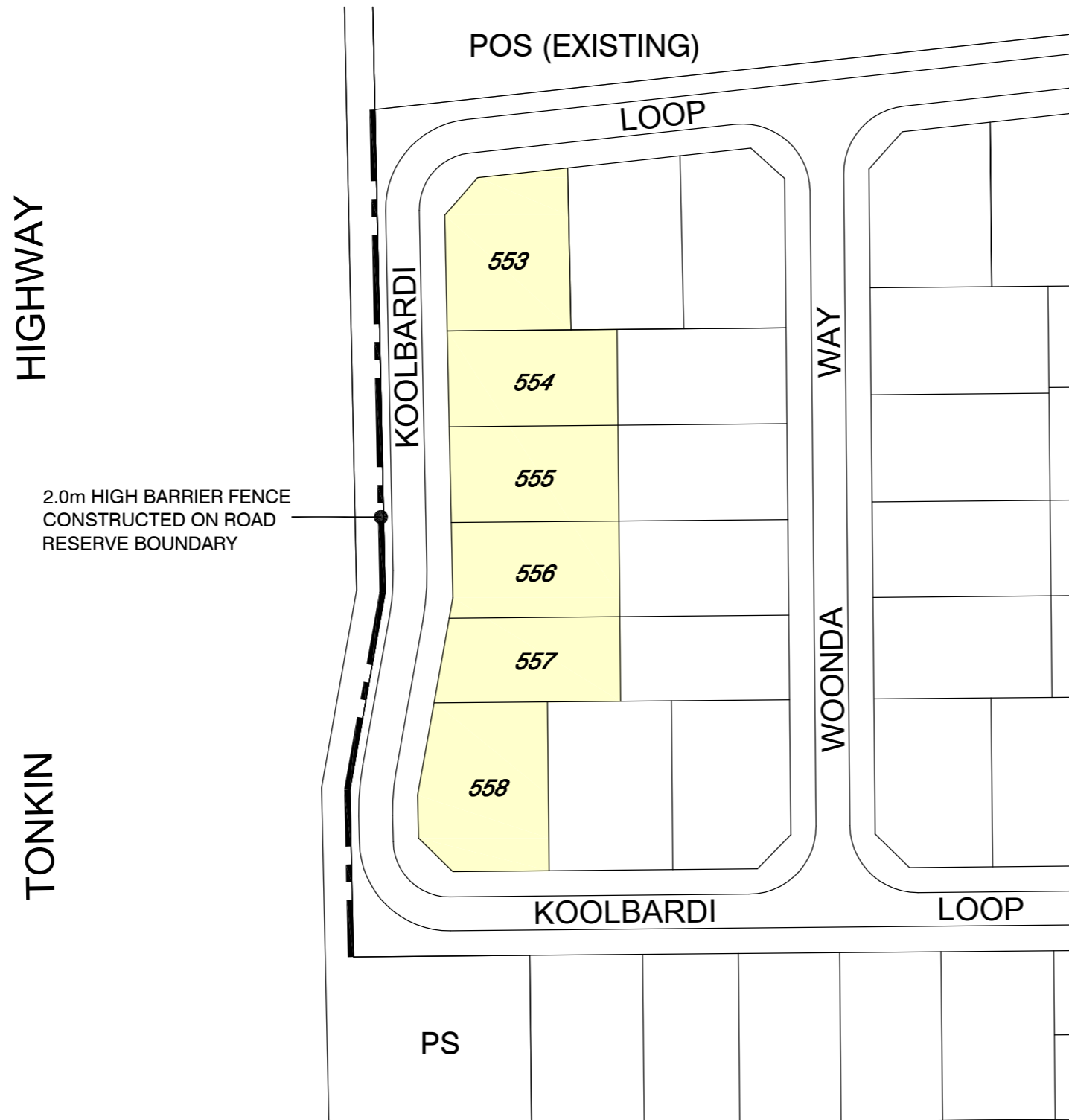
**3. NOTIFICATION TO THE PROSPECTIVE PURCHASERS**

- 3.1 THE DEVELOPER IS REQUIRED TO PROVIDE PROSPECTIVE PURCHASERS WITH A COPY OF THIS DETAILED AREA PLAN.
- 3.2 A SECTION 70A NOTIFICATION IS TO BE PLACED ON THE TITLE OF EACH LOT COVERED BY THIS DETAILED AREA PLAN ADVISING THAT FUTURE DWELLINGS AND LOTS MAY BE SUBJECT TO NOISE FROM TONKIN HIGHWAY.

**4. ADVICE NOTE**

- 4.1 PLANNING APPROVAL IS NOT REQUIRED FOR THE CONSTRUCTION OF A DWELLING ON ANY LOT COVERED BY THIS DETAILED AREA PLAN EXCEPT WHERE VARIATIONS TO THE PROVISIONS OF THIS DETAILED AREA PLAN OR RESIDENTIAL DESIGN CODES OF WA ARE SOUGHT.
- 4.2 VARIATIONS TO ANY PROVISION CONTAINED IN THIS DETAILED AREA PLAN WILL ONLY BE SUPPORTED BY THE SHIRE WHERE THE APPLICANT CAN DEMONSTRATE THAT THE OBJECTIVES AND INTENT OF THE RELEVANT PROVISIONS CAN STILL BE ACHIEVED.
- 4.3 THE NOISE ATTENUATION MEASURES REQUIRED TO BE INCORPORATED IN THE DESIGN OF DWELLINGS SHALL BE SHOWN ON THE PLANS SUBMITTED FOR A BUILDING LICENCE.

THIS PLAN HAS BEEN APPROVED BY THE SHIRE ON THE.....  
 IN ACCORDANCE WITH CLAUSE 5.18.5.1(c)(i) OF THE SHIRE OF SERPENTINE / JARRAHDALE TOWN PLANNING SCHEME No.2



HIGHWAY

TONKIN

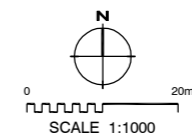
2.0m HIGH BARRIER FENCE  
 CONSTRUCTED ON ROAD  
 RESERVE BOUNDARY

LEGEND:  
 LOTS SUBJECT TO DAP  
 BARRIER FENCE

SIGNED *Thomas Road Developments Ltd* 20/03/2014

DETAILED AREA PLAN No.11  
 REDGUM BROOK ESTATE - STAGE 5D  
 SHIRE OF SERPENTINE - JARRAHDALE  
 PREPARED FOR THOMAS ROAD DEVELOPMENTS LTD

NOTE:  
 1. DISTANCES AND AREAS SUBJECT TO SURVEY  
 2. PAVEMENTS DIAGRAMMATIC ONLY



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