




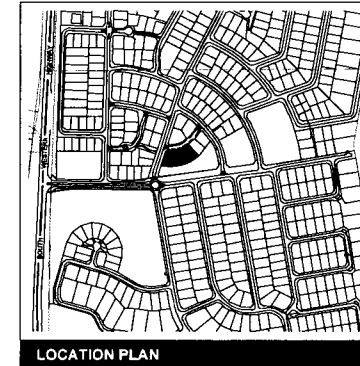
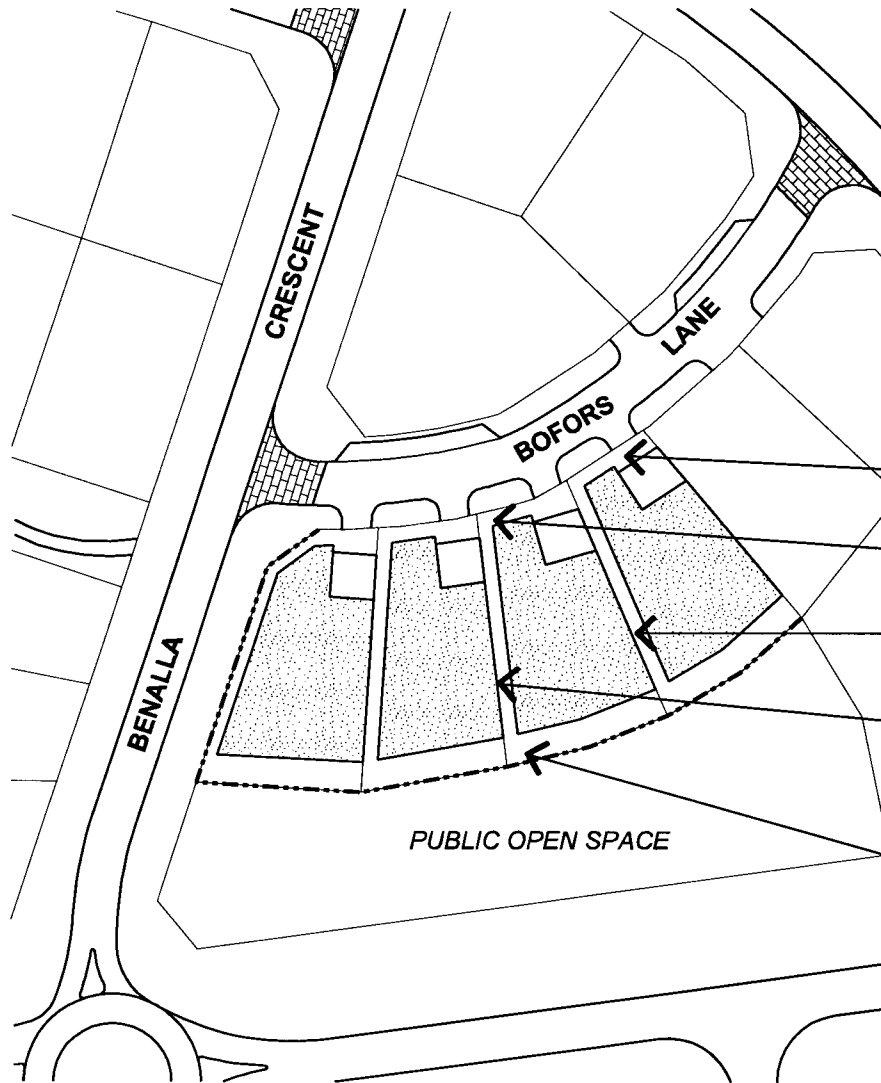
LEGEND

-  Preferred garage location
-  Building envelopes
-  Uniform fencing to be provided by developer (no vehicular access)

DETAILED AREA PLAN R-CODE VARIATION

The District Town Planning Scheme and R-Codes are varied in the following manner;

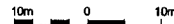
1. The dwellings (including patios and gazebos) must be located within the building envelopes where shown;
2. The requirements to consult with adjoining or other land owners to achieve a variation of the R-Codes is not required;
3. Development shall be designed so that its shadow cast at midday 21 June, onto any adjoining property does not exceed 40% of the adjoining property's site area;
4. Sheds and outbuildings are to be constructed of the same materials and colours as the walls and roof of the dwelling where they are visible from the street or public open space;
5. Council has discretion to vary the provisions of the Detailed Area Plan (including setbacks and garage locations) to improve solar penetration;
6. The minimum garage setback shall be 3.0metres from the primary street;
7. Clothes lines and rubbish bins must be screened from public view by masonry walls to match the dwelling and the walls are to have a minimum height of 1.8 metres;
8. A minimum open space site coverage of 40% is applicable;
9. Building part of the main residence on the allotment boundary within the 2metre solar setback is permitted if:
 - a) the solar aspect of design of the residence is not compromised;
 - b) access to the rear of the property is maintained from the outside;
 - c) A 2m solar setback to the northern boundary (with minor incursions, such as a chimney) to a maximum of 70% of north elevation provided solar penetration to living areas is achieved.
10. Density Coding is R20;
11. Dwellings must be suitably designed and orientated to ensure passive surveillance of areas of public open space and laneways. This is to be achieved by ensuring that major openings and living areas face towards the public open space and laneway;
12. Fencing on boundaries facing the public open space shall be designed and constructed in accordance with clause 3.2.5 A5 of the Residential Design Codes (open feature fencing);
13. The roofing material used for patios and gazebos shall match the colour of the roof of the dwelling to the satisfaction of the Shire;
14. Air conditioning/cooling units must be of similar colour to the roof and must not protrude above any roof ridgelines or gables. Units are not to be visible from the adjacent front street or public open space areas and must be positioned to prevent noise impacts in accordance with the Department of Environment's "Installers Guide to Air Conditioner Noise" Publication;
15. Solar hot water systems must be integrated with the design of the roof, and where visible from the adjacent front street or public open space areas be a split system with the tank installed at ground level or out of public view.



- 3.0 MINIMUM GARAGE SETBACK**
- 2.0m MINIMUM FRONT SETBACK**
- MINIMUM 2.0m SOLAR SIDE SETBACK**
- SIDE SETBACK IN ACCORDANCE WITH R-CODE CLAUSE 3.3.2**
- DWELLING SETBACK 3.0m (min) FROM REAR BOUNDARY**

**BYFORD BY THE SCARP - STAGE 3
DETAILED AREA PLAN**

PROJECT	CLIENT	DRAWN BY	ASSIGNMENT	DESCRIPTION	DATE	APPROVAL
	LWP ON BEHALF OF BRADWELL PTY LTD	M.E.				
	23 MAY 2006 01/090/044A				1:1000	




TAYLOR BURRELL BARNETT
Town Planning and Design
187 Roberts Road Subiaco
Western Australia 6008
Telephone: (08) 9382 2911
Facsimile: (08) 9382 4586
admin@tbbplanning.com.au