DETAILED AREA PLAN PROVISIONS

R CODING

1. The Density Coding is R20.

SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

2. The Town Planning Scheme R-Codes are varied in the manner described in clauses 5-16.

3. The requirements to consult with adjoining or other land owners to achieve these variations is not required.

4. The requirements of the Town Planning Scheme and R-Codes shall be satisfied in all other matters.

DESIGN ELEMENTS

5. Dwellings must be located within the building envelopes where shown. Outbuildings must be setback a minimum 1m from the rear boundary.

6. Development shall be designed so that its shadow cast at midday 21 June, onto any adjoining property does not exceed 40% of the adjoining property's site area.

GARAGES, VEHICULAR ACCESS AND DRIVEWAYS

7. The crossover locations for Lots 351, 354 & 355 should be as depicted on this DAP. The precise alignment and location of all crossovers depicted on the DAP must be to the satisfaction of the Director, Engineering Services

OUTBUILDINGS, PATIOS & GAZEBOS

8. Where sheds and outbuildings are visible from the street they are to be constructed of the same materials and colours as the dwelling.

9. The roofing material used for patios and gazebos shall match the colour of the roof of the dwelling to the satisfaction of the Shire.

WASHING LINES & RUBBISH BINS

10. Clothes lines and rubbish bins must be screened from public view.

AIR CONDITIONING/COOLING UNITS & SOLAR HOT WATER SYSTEMS

11. Air conditioning/cooling units must be of similar colour to the roof and must not protrude above any ridgelines or gables. Units must not to be visible from the adjacent from street or public open space areas and must be positioned to prevent noise impacts in accordance with the Department of Environment's 'Installers Guide to Air Conditioner Noise' Publication.

12. Solar hot water systems must be integrated with the design of the roof, and where visible from the adjacent front street or public open space areas be a split system with the tank installed at ground level or out of public view.

VEGETATION AND LANDSCAPE PROTECTION

13. All existing trees adjacent to the western boundaries of the lots are to be retained and are to be protected prior to and during construction to the satisfaction of the Shire. Removal of any of these trees is not permitted without the prior written approval of the Shire.

14. The subject lots are within the Landscape Protection Policy Area and as such restrictions apply with regard to colours of building materials. Zincalume, white and off-white colours are not permitted to be used. Planning approval is required for all development within the Landscape Protection Policy Area.

NOISE ATTENUATION

15. Lots adjacent to South Western Highway may be affected by traffic noise. Future dwellings on these lots shall be designed and constructed to ameliorate traffic noise and emissions to the satisfaction of the Shire. Construction and mitigation methods shall be in accordance with the Building Code of Australia and relevant Australian Standards.

NOTIFICATION OF PROSPECTIVE PURCHASERS

16. The developer is required to give prospective purchasers a complete copy of all the requirements of this Detailed Area Plan.

LOCATION PLAN

Lots subject to the Detailed Area Plan
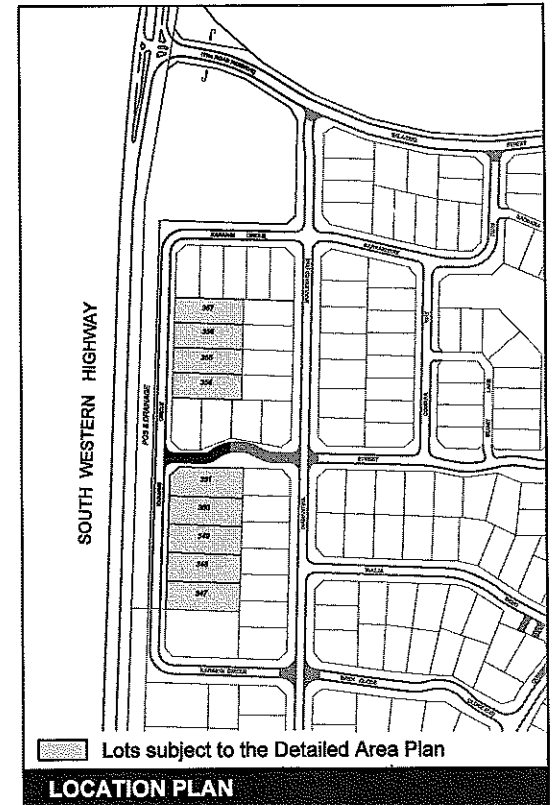
LEGEND

☒	Preferred garage location
▨	Building envelopes
▨	10m minimum building envelope setback zone
O	Location of existing 'good' tree (to be retained where achievable)
✳	Location of existing 'special' tree (to be retained where achievable)
⚒	Designated vehicle crossover location (To aid preservation of existing trees)
⌐⌐	Application Area

Detailed Area Plan adopted pursuant to provisions of clause 5.18.5.1 (c) (i) on 28th day of July 2008

Brad Gleeson, Director Development Services under delegated authority from the Council of the Shire of Serpentine Jarrahdale (CGAM064/02/08)