

DETAILED AREA PLAN R-CODE VARIATION

The District Town Planning Scheme and R-Codes are varied in the following manner;

R CODING

1. Density Coding is R20.

SCHEME & RESIDENTIAL DESIGN CODE VARIATIONS

2. The requirement to consult with adjoining or other land owners to achieve a variation to the R-Codes is not required.

DESIGN ELEMENTS

3. The dwellings (including patios and gazebos) must be located within the building envelopes where shown.
4. The dwellings on Lots 42, 44, 45 and 46 fronting public roads (Shell Vista) shall be designed to address the public roads, with major openings and the main entry to the buildings accessible via this frontage. The dwelling on Lot 43 shall be designed to address the public road (Shell Vista) with major openings and the main entry to the building accessible via this frontage.
5. Major openings shall be provided to habitable rooms fronting the public road (Shell Vista) to ensure passive surveillance.
6. Development shall be designed so that its shadow cast at midday 21 June, onto any adjoining property does not exceed 40% of the adjoining property's site area.
7. Council has discretion to vary the provisions of the Detailed Area Plan (including setbacks and garage locations) to improve solar penetration.
8. A minimum open space of 40% is applicable.
9. Building part of the main residence on the allotment boundary within the 2 metre solar setback is permitted if:
 - a) the 2 metre solar setback to the northern boundary (except for minor incursions, such as a chimney) is maintained to a minimum of 70% of the north elevation of the dwelling including solar penetration of living areas; and
 - c) access to the rear of the property is maintained from outside the dwelling.

10. Dwellings must be suitably designed and orientated to ensure passive surveillance of areas of public open space and the public road (Shell Vista). This is to be achieved by ensuring that major openings and living areas face towards the public open space and/or pedestrian access way.

11. The roofing material used for patios and gazebos shall match the colour of the roof of the dwelling to the satisfaction of the Shire.

GARAGES, VEHICULAR ACCESS AND DRIVEWAYS

12. An alternative garage location to that shown on the plan may be approved by the Executive Manager Planning and Regulatory Services subject to the design meeting solar orientation principles, streetscape objective, intersection setback safety distances and statutory requirements.

13. The minimum garage setback shall be 3.0 metres from the primary street and in the case of Lots 42, 43 and 46, located to provide sufficient vehicle movement for safe egress of vehicles from the subject site.

FENCING

14. Fencing on boundaries facing the public open space or the public road (Shell Vista) shall be designed and constructed in accordance with clause 3.2.5 A5 of the Residential Design Codes (open feature fencing).

OUTBUILDINGS

15. Sheds and outbuildings are to be constructed of the same materials and colours as the dwelling where they are visible from the street, public open space or public road (Shell Vista).

WASHING LINES AND RUBBISH BINS

16. Clothes lines and rubbish bins must be screened from public view by masonry walls or other methods of construction to the satisfaction of the Shire to match the dwelling and the walls are to have a minimum height of 1.8 metres.

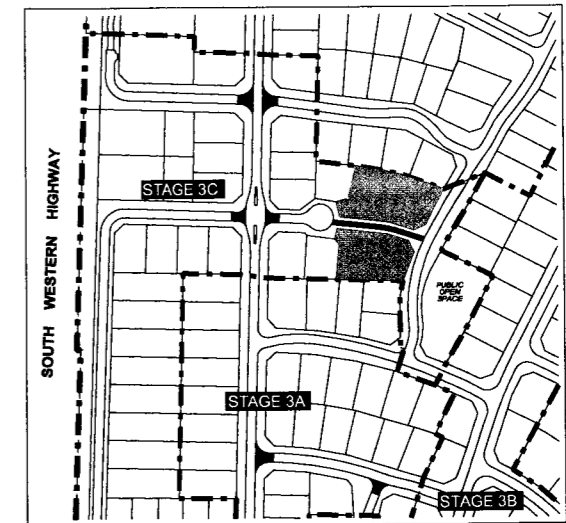
AIR CONDITIONING / COOLING UNITS AND SOLAR HOT WATER SYSTEMS

17. Air conditioning/cooling units must be of similar colour to the roof and must not protrude above any roof ridgelines or gables. Units are not to be visible from the adjacent front street or public open space areas and must be positioned to prevent noise impacts in accordance with the Department of Environment's 'Installers Guide to Air Conditioner Noise' Publication.

18. Solar hot water systems must be integrated with the design of the roof and where visible from the adjacent front street or public open space areas be a split system with the tank installed at ground level or out of public view.

NOTIFICATION TO PROSPECTIVE PURCHASERS

19. The developer is required to give prospective purchasers a complete copy of all the requirements of this Detailed Area Plan prior to Offer and Acceptance being made.



LOCATION PLAN

MINIMUM 3.0m
FRONT SETBACK

MINIMUM 3.0m
SETBACK

EXCEPT WHERE NOTED
ALL OTHER SETBACKS
ARE IN ACCORDANCE
WITH R-CODES

LEGEND

- ☒ Preferred garage location
- ▭ Building envelopes
- No Vehicle Access
- Vehicle Movement (Intended)
- Good quality mature tree (to be retained where development allows)
- Average quality tree (can be removed if necessary)

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**BYFORD BY THE SCARP - STAGE 3C
PROPOSED LOTS 42 - 46
DETAILED AREA PLAN 5**

CLIENT	DRAWN BY	AMENDMENT	DESCRIPTION	DATE	APPROVAL
LWP ON BEHALF OF BRADWELL PTY LTD	Y.H.				
DATE	PLAN NUMBER	SCALE			
7 AUG 2006	01/090/047a	1:500			

10m 0 10 20 30m