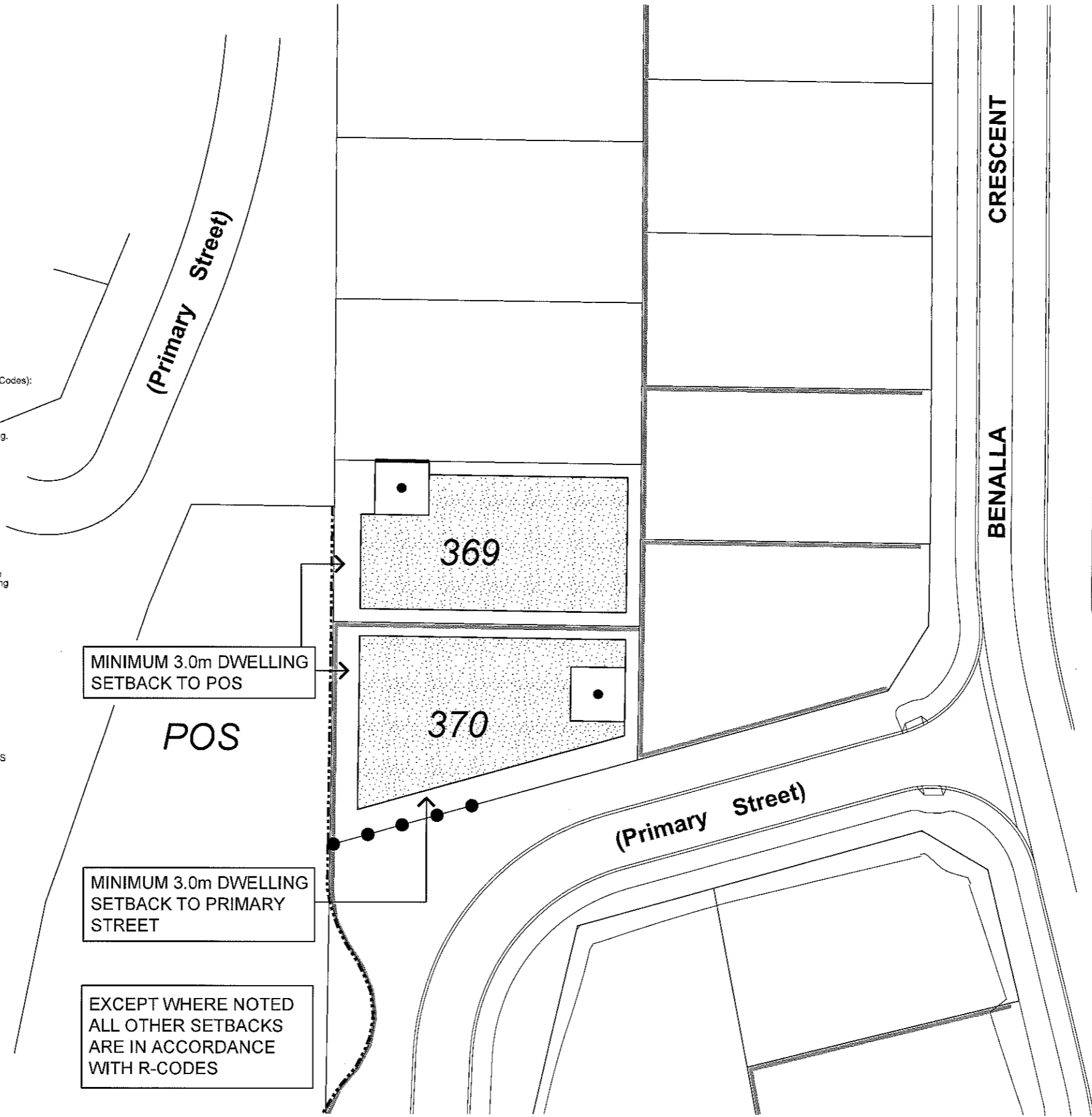


DETAILED AREA PLAN R-CODE VARIATIONS

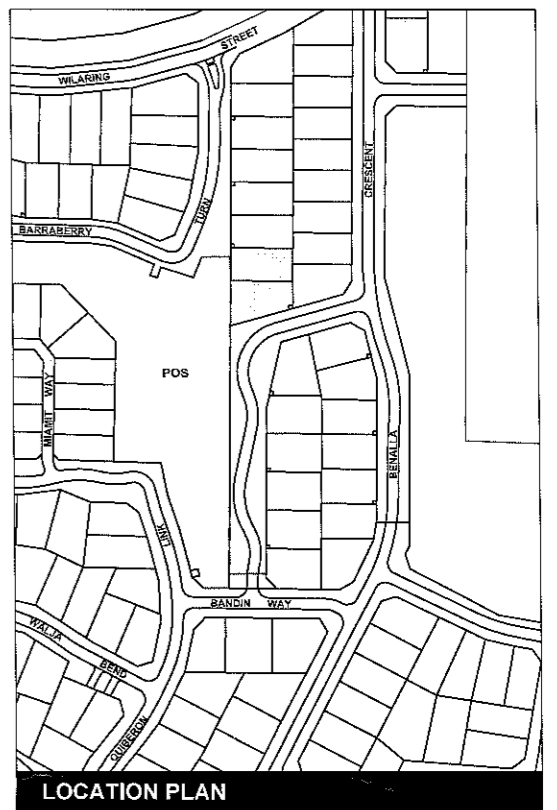
- R-CODING**
- The Residential Design Code applying to these lots is R20.
- SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS**
- The Scheme and Residential Design Codes are varied as described in these notations.
 - The requirements of the Scheme and Residential Design Codes shall be satisfied in all other matters however.
- DESIGN ELEMENTS**
- The following matters apply to the development of lots affected by the Detailed Area Plan:
 - All houses and garages (including patios and gazebos) must be constructed within the nominated building envelope;
 - At least one major opening to an indoor living area is to be installed on the northern elevation of a dwelling in order to maximise solar orientation.
 - Houses are required to suitably address all adjacent street frontages as indicated to maximise visual surveillance.
 - A minimum open space of 40% is applicable.
 - Dwelling on Lot 370 shall be designed to address the primary street frontage with major openings and the main entry accessible via this frontage.
 - All dwellings abutting POS shall be suitably designed and orientated to ensure passive surveillance. Dwelling shall have one or more major opening(s) to a habitable room and an outdoor living area facing the public open space.
- SETBACKS**
- Setbacks for development shall be in accordance with the following: (Except where noted, all other setbacks shall be in accordance with R-Codes):
 - Lot 369:
 - Western boundary - minimum 3.0m setback to dwelling.
 - minimum 4.5m setback to garage.
 - Lot 370:
 - Western boundary (POS) - minimum 3.0m setback to dwelling.
 - Southern Boundary (Primary Street) - minimum 3.0m setback to dwelling.
 - minimum 4.5m to garage.
- GARAGES**
- A garage is permitted on a nil setback for Lot 369 as a right (R-Codes) to provide requisite vehicle access and egress.
 - An alternative garage location to that shown on the plan may be approved by the Principal Planner subject to the design meeting solar orientation principles, streetscape objectives and statutory requirements.
- FENCING**
- Fencing on boundaries facing public open space will be provided by the developer and shall not be altered or replaced by the landowner. Fencing will be designed and constructed in accordance with clause 3.2.5 A5 of the Residential Design Codes (open feature fencing).
- OUTBUILDINGS**
- A storeroom of 4m² floor area shall be integrated into the dwelling (ie under the same roof) and constructed of the same materials. This room shall only be accessible from outside the dwelling.
 - No additional sheds or outbuildings are permitted on lots.
- WASHING LINES**
- Clothes lines and rubbish bin storage must be screened from view of the street and public open space area by masonry walls or other methods of construction to match the materials used for the dwelling and with a height of 1.8 metres.
- AIR CONDITIONING/COOLING UNITS & SOLAR HOT WATER SYSTEMS**
- Air conditioning/cooling units must be of similar colour to the roof and must not protrude above any roof ridgelines or gables. Units are not to be visible from the adjacent front street or public open space areas and must be positioned to prevent noise impacts in accordance with the Department of Environment's 'Installers Guide to Air Conditioner Noise' Publication.
 - Solar hot water systems must be integrated with the design of the roof, and where visible from the adjacent front street or public open space areas be a split system with the tank installed at ground level or out of public view.
- NOTIFICATION TO PROSPECTIVE PURCHASERS**
- The developer is required to give prospective purchasers a complete copy of all the requirements of this Detailed Area Plan prior to Offer and Acceptance being made.



MINIMUM 3.0m DWELLING SETBACK TO POS

MINIMUM 3.0m DWELLING SETBACK TO PRIMARY STREET

EXCEPT WHERE NOTED ALL OTHER SETBACKS ARE IN ACCORDANCE WITH R-CODES



LEGEND

- Preferred garage location
- Building envelopes
- No Vehicle Access (50% boundary)
- Uniform (visually permeable) fencing to be provided by developer (incorporating no vehicle access)
- Retaining Walls
- Nil side setback

ENDORSEMENT TABLE

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner.

Principal Planner _____

Date _____

Detailed Area Plan 8
 BYFORD BY THE SCARP LOTS 369-370
 AN ASPEN GROUP PROJECT

Scale: 1:500@A3
 0 5 10

plan:	01/09/089	designed:	MB	scale:	1:500@A3
date:	17/06/2011	checked:	WFB	drawn:	MB
projection:	PCS 94	drawn:	MB		

Taylor Burrell Barnett Town Planning & Design
 187 Roberts Road Subiaco Western Australia 6008
 P: (08) 9382 2311 F: (08) 9382 4586 e: admin@tbbplanning.com.au