

Local Development Plan Village Reserve

Lot 9200 Abernethy Road, Byford



Date: 09.06.2016

Approval

This LDP has been approved by the Shire of Serpentine Jarrahdale under clause 5.18.5 of the Shire of Serpentine Jarrahdale Local Planning Scheme No. 2.

Signature: *[Handwritten Signature]* Date: 4/7/16

LEGEND

- 01 Drainage basin
- 02 Feature entry tree
- 03 Street trees - Soldiers Road
- 04 Street tree
- 05 Biofiltration pockets and trees
- 06 Limestone access track with timber seat
- 07 Resource Enhancement Wetland
- 08 Existing trees to boundary
- 09 Lot 8006

Please refer to approved Landscape Plan for full details of landscape works.

- No vehicle access
- 6x6 double garage location
- Orientation of dwelling
- Cross over to service road
- Right in access
- Footpath

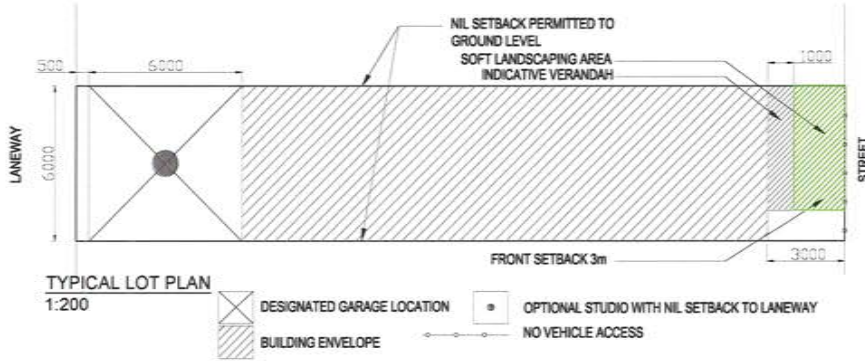
0 25m
SCALE 1:750 @ A3
SUBJECT LAND



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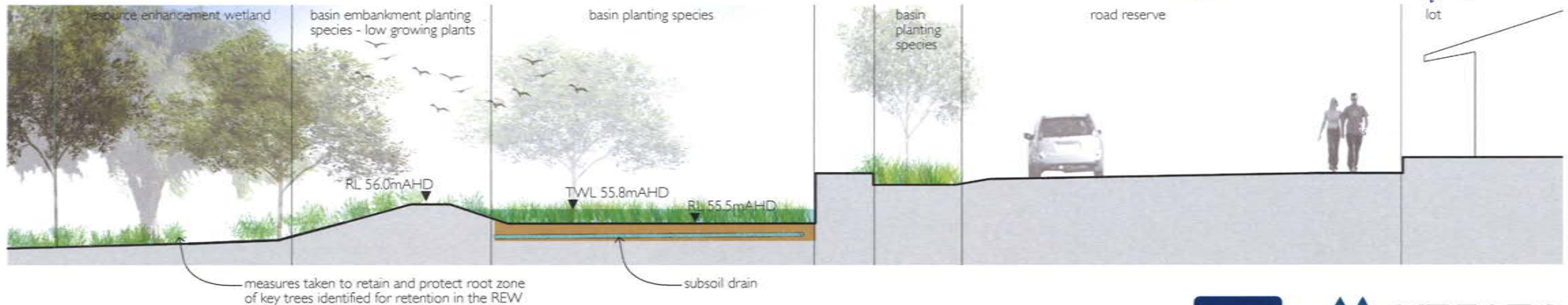
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Proposed street trees



Indicative cross section



Application of Local Development Plan

Local Development Plan - Village Reserve, Abernethy Road, Byford

- The provisions of Shire of Serpentine Jarrahdale Local Planning Scheme No. 2 and State Planning Policy 3.1 Residential Design Codes (R-Codes) are varied as detailed within this Local Development Plan
- All other requirements of the Local Planning Scheme and R-Codes shall be satisfied in all other matters.

Residential Design Code

- The R-Code applicable to these lots is as per the Byford Town Centre Local Structure Plan (Residential R60).

Streetscape

- Dwelling facades must be articulated with at least one architectural element such as a verandah, porch or balcony, or a feature roof element such as a gable end.
- Opportunities for passive surveillance must be maximised through having at least one major opening to a habitable room addressing the street. The primary street facade must include rectangular awning style windows with transparent clear glass. In the case of corner lots, at least one major opening to a habitable room must face the secondary street.
- The main entrance to the front door must be visible and accessible from the Primary Street and include glazing within the door or a sidelight provided adjacent to the door.
- The front facade must include an entry porch or verandah integrated into the design of the dwelling, with a minimum dimension of 1m, a minimum area of 3.5m², and extending across a minimum 60% of the dwelling frontage.
- A direct pathway must be provided from the pedestrian footpath to the front door.
- Any Letterbox must be complementary in design and materials to the dwelling or fencing.
- Air-conditioning units must be located behind the front facade and screened from view from the public realm. Any roof-mounted air-conditioning or evaporative cooling plant must be finished in a colour to match the roof colour where visible from the street or adjacent public open space.
- No exterior roller shutters shall be allowed on windows visible from the street or adjacent public open space.
- Dwellings must include a front fence, no more than 900mm high, to the primary street boundary. In the case of corner lots, the front fence shall continue around the lot truncation and extend along the secondary street boundary to no less than the building line.
- Front fencing materials must complement the dwelling and use colours that are consistent with the dwelling (colorbond not permitted).
- All dwellings abutting Public Open Space (POS) or Wetland shall be designed and orientated to ensure passive surveillance of the POS or Wetland from a minimum of one major opening to a habitable room and an outdoor living area facing the POS.
- The provision of street trees, on-street parking and verge landscaping must be in accordance with a landscape plan prepared to the satisfaction of the Shire of Serpentine Jarrahdale.

Setbacks

- Setbacks for development shall be in accordance with the following:

- Primary Street: 3m front setback with averaging permitted, and with a minimum setback of 2m. Lots 70-74 must be setback by a minimum of 4m to ensure that an outdoor living area is located at front for surveillance of the POS.
- A Verandah or porch may project into the front setback up to 2m from the front boundary.
- Rear: Minimum 0.5m Garage Setback.
- Side: Nil ground floor setbacks to both side boundaries for house and garage for a maximum length determined by the front and rear setback. Nil setback to the second level on one side boundary only, but only where a wall of equal or greater proportions abutting the boundary wall is simultaneously constructed on the adjoining property wall. A minimum setback of 1m shall apply for secondary streets to corner lots (except on a corner to a laneway or Lots 18, 27 & 70 where this may be nil).

Building Materials

- Dwelling frontages to the primary street must comprise of at least 2 different wall materials, textures or finishes.
- Feature building trim (ie: fascia, gutter, barge board) must be of a different colour or tone to the dwelling walls and roof.

Landscaping

- The Front setback area, excluding the area of any verandah or porch, shall consist of at least 60% soft landscaping, of which no more than 50% shall comprise of turf.
- Rear Outdoor Living Area must consist of at least 1/3 soft landscaping.

Vehicle Access to Residential Lots

- Vehicle access to all dwellings must be provided from the rear laneway with the provision to park two cars on the lot. No additional car access or parking areas are permitted from either the primary or secondary street.

Open Space/Site Coverage

- The minimum open space provision must be no less than 30%, but may include the area of any verandah or porch to the front of the dwelling.
- Outdoor living areas must have a minimum dimension of 4m except in the case of a courtyard where openings to habitable rooms are located on at least two sides, where the minimum dimension may be reduced to 3.5m.
- Outdoor living areas must remain uncovered for an area of at least 16m².

Commercial Access

- Access to Commercial lots is limited to two crossovers to Abernethy and one to Soldiers, as per Byford Town Centre Design Guidelines. Cross access easements to be imposed through the Development Application process and Deposited Plans to facilitate an internal service road for commercial tenancy access.

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